

# ZONING RESOLUTION OF HOWLAND TOWNSHIP TRUMBULL COUNTY, OHIO

Effective – June 12, 2026  
Howland Township Resolution #2026-006



**HOWLAND TOWNSHIP BOARD OF TRUSTEES**

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[www.howlandtownship.org](http://www.howlandtownship.org)

## HOWLAND TOWNSHIP ZONING RESOLUTION

*A Resolution providing for the zoning of Howland Township by regulating size and use of buildings and structures the area and dimensions of lots and yards and the use of lands, and for such purposes, dividing the Township into zones and districts of such number, sizes and shapes as are deemed best suited to carry out said purposes, and providing a method of administration and enforcement of these Resolutions.*

*WHEREAS, the Board of Trustees of Howland Township deems it necessary in the interest of the PUBLIC HEALTH, SAFETY, MORALS, COMFORT AND GENERAL WELFARE OF SAID HOWLAND TOWNSHIP and its residents to establish a general zoning plan for the area of said Howland Township.*

*NOW, THEREFORE, BE IT RESOLVED by the Board of Trustees of Howland Township.*

*For the purpose of promoting health, safety, morals, comfort and general welfare; to conserve and protect property and property values; to secure the most appropriate use of land; and to facilitate adequate but economical provision of public improvements, all in accordance with a comprehensive plan, the Board of Trustees of Howland Township find it necessary and advisable to regulate the location and size of buildings and other structures, including tents, cabins and trailer coaches, percentages of lot areas which may be occupied, set-back building lines, sizes of yards, courts, and other open spaces, the use of buildings and other structures including tents, cabins, manufactured mobile homes and/or trailer coaches, and the use of land for trade, industry, residence, recreation, or other purposes and for such purposes to divide the area of the Township into districts or zones.*

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## SECTION 1.1 TITLE

This Resolution shall be known and may be cited and referred to as the “Howland Township Zoning Resolution,” or as the “Zoning Resolution of Howland Township,” except as referred to herein, where it shall be known as “this Resolution.

## SECTION 1.2 APPLICABILITY

This Resolution has been passed under the authority granted to the Township under Section 519.01 et seq. of the Ohio Revised Code and embraces the provisions thereof regarding enforcement and penalties for violations.

## SECTION 1.3 JURISDICTION

The provisions of this Zoning Resolution shall apply to all land, land development, use of all structures, and uses of land within the unincorporated areas of Howland Township, Trumbull County, Ohio.

## SECTION 1.4 INTERPRETATION AND CONFLICTS

- A.** The legally effective provisions of this Resolution are the regulations, regulations incorporated by reference, procedures, and the Official Zoning Map. Titles, headings, and illustrations are not regulatory.
- B.** This Resolution shall not be interpreted as interfering with, abrogating, or annulling any ordinances, resolutions, regulations, or permits previously adopted or issued by Howland Township except where such ordinances, resolutions, regulations, or permits are in conflict with this Resolution or amendments hereto, in which event this Resolution or amendments hereto shall prevail.

- C. Nothing herein shall repeal, abrogate, annul, or in any way impair or interfere with any provision of law or any rules or regulations, other than zoning regulations, adopted or issued pursuant to law relating to the construction and use of buildings or premises.
- D. In their interpretation and application, the provisions of this Resolution shall be held to be minimum requirements.
- E. Where provisions of this Resolution are inconsistent with one another, the more restrictive provision shall govern.
- F. Where this Resolution imposes a greater restriction than is imposed or required by other provisions of law or by other rules, regulations, resolutions, or restrictions, the provisions of this Resolution shall control; however, where the provisions of this Resolution are less restrictive, the more restrictive provision of other laws, rules, regulations, restrictions, or resolutions shall control.
- G. This Resolution is not intended to interfere with or abrogate any easements, covenants, or agreements between parties, provided that wherever this Resolution proposes greater restrictions than those imposed or required by such easements, covenants, or agreements between parties, the provisions of this Resolution shall govern.
- H. In no case shall the Township be obligated to enforce the provisions of any easements, covenants, or agreements between private parties.

## SECTION 1.5 VALIDITY AND SEVERABILITY

Each Section, sub-section, provision, requirement, regulation, or restriction established by this Resolution, or any amendment hereto, is independent, and the holding of any part to be unconstitutional, invalid, or ineffective for any reason shall not affect nor render invalid the Resolution or amendments hereto as a whole or any part thereof, except the particular part so declared to be unconstitutional, invalid, or ineffective.

## SECTION 1.6 CONFORMANCE

- A. No building or other structure shall be located, erected, constructed, reconstructed, enlarged, changed, maintained, or used, and no land shall be used, in violation of this Resolution or of any amendment or supplement hereto.
- B. Transplanted buildings or structures moved upon a parcel of land in Howland Township shall be considered the same as a building or structure originally constructed thereon, and shall meet all the requirements in this Resolution before said building or structure is occupied or used.
- C. All structures shall be constructed in accordance with the Ohio State Building Code and the Trumbull County Building Code.

## SECTION 1.7 TRANSITIONAL RULES

- A. Any violation under previous zoning resolutions that applied to the Township prior to the adoption of this Resolution shall continue to be a violation under this Resolution and is subject to penalties and enforcement under [Section 20.8 Enforcement](#) unless the use, development, construction, or other activity complies with the provisions of this Resolution.

- B.** Any legal nonconformity under any previous zoning resolutions that applied to the Township prior to the adoption of this Resolution shall continue to be a legal nonconformity under this Resolution, as long as the situation that resulted in the nonconforming status under the previous resolutions continues to exist.
- C.** If a legal nonconformity under any previous resolutions that applied to the Township prior to the adoption of this Resolution becomes conforming because of the adoption of this Resolution, then the situation will be considered conforming and shall no longer be subject to the nonconforming use regulations.
- D.** Any building, structure, or development for which a zoning certificate was issued prior to the effective date of this Resolution may be completed in conformance with the issued certificate and any other applicable permits and conditions, even if such building, structure, or development does not fully comply with provisions of this Resolution. Such building, structure, or development shall be considered a legal nonconforming.
- E.** Any application for a project where the zoning certificate has expired shall meet the standards of this Resolution.

## **SECTION 1.8 APPROVED WATER SUPPLY AND SEWAGE DISPOSAL FACILITIES**

- A.** It shall be unlawful to locate, erect, or construct any building or structure for human habitation without providing an approved water supply and approved sanitary sewer or home sewage treatment system.
- B.** On-site sanitary waste treatment may be used only when the Trumbull County General Health District approves an Application to Construct or Replace a Household Sewage Treatment System or the Ohio Environmental Protection Agency grants a Wastewater Permit to Install (PTI) on commercial structures.
- C.** On-site, private water systems (wells and, holding tanks, ponds, cisterns) may be used only upon approval of the Trumbull County General Health District and the Ohio Department of Health.

## **SECTION 1.9 RESTORATION OF UNSAFE BUILDINGS**

Nothing herein shall be construed as preventing the strengthening or restoring to a safe condition of any part of any building or structure declared unsafe by the Trumbull County Building Inspection Department or from complying with the department's lawful requirements.

## **SECTION 1.10 STORMWATER MANAGEMENT AND SEDIMENT AND EROSION CONTROL**

Stormwater Management and Sediment and Erosion Control. The latest stormwater management and sediment and erosion control standards shall apply in all zoning districts, when and where applicable, and in accordance with the appropriate governing authority in compliance with ORC Section 504.21.

## SECTION 1.11 STREET DESIGN AND CONSTRUCTION STANDARDS<sup>1</sup>

- A.** All new public and private streets, roads, alleys, and related rights-of-way constructed within Howland Township shall be planned, designed, and constructed in full compliance with the current Trumbull County Subdivision Regulations, as adopted and amended.
- B.** Where the standards, specifications, or requirements of Howland Township—whether set forth in the Howland Township Zoning Resolution or other duly adopted policies or regulations—are more restrictive or impose higher design, construction, safety, accessibility, or connectivity requirements than those contained in the Trumbull County Subdivision Regulations, the more restrictive Howland Township standards shall apply and shall prevail.
- C.** Compliance with Trumbull County Subdivision Regulations shall not relieve an applicant from the obligation to meet all applicable Howland Township requirements, nor shall approval by Trumbull County be construed as approval by Howland Township where additional or more stringent local standards apply.

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<sup>1</sup> Standard added June 12, 2026

# SECTION 2 ESTABLISHMENT OF ZONING DISTRICTS

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## SECTION 2.1 PURPOSE

In order to promote public health, safety, comfort, and general welfare; to conserve and protect property and property values; to secure the most appropriate use of land; and to facilitate adequate but economical provision of public improvements, all in accordance with a comprehensive plan, the Board of Trustees of Howland Township find it necessary and advisable to regulate the location and size of buildings and other structures, percentages of lot areas which may be occupied, set-back building lines, sizes of yards, courts, and other open spaces, the use of buildings and other structures including the use of land for trade, industry, residence, recreation, or other purposes and for such purposes to divide the area of the Township into zoning districts.

## SECTION 2.2 ESTABLISHMENT OF ZONING DISTRICTS

**2.2 Table of Zoning Districts for Howland Township**

District Designation	District Name <sup>2</sup>	Former District Name
R-1	SINGLE-FAMILY RESIDENTIAL	SINGLE-FAMILY RESIDENTIAL ONE
R-2	SINGLE and TWO-FAMILY RESIDENTIAL	SINGLE-FAMILY RESIDENTIAL TWO
R-A-1	MULTIFAMILY RESIDENTIAL (3-6 FAMILY UNITS)	RESIDENTIAL APARTMENTS (3-6 FAMILY UNITS) <sup>3</sup>
R-A-2	MULTIFAMILY RESIDENTIAL (6 OR MORE UNITS)	RESIDENTIAL APARTMENTS (6 OR MORE UNITS) <sup>4</sup>

<sup>2</sup> District name changes July 21, 2017

<sup>3</sup> Added 5/1996

<sup>4</sup> Added 5/1996

R-CH	RESIDENTIAL CLUSTER	RESIDENTIAL CLUSTER HOME <sup>5</sup>
PUD	PLANNED UNIT DEVELOPMENT <sup>6</sup>	
CRD-OI	CORRIDOR REVIEW DISTRICT – OFFICE/ INSTITUTIONAL <sup>7</sup>	
CRD-1	CORRIDOR REVIEW DISTRICT 1 <sup>8</sup>	
CRD-2	CORRIDOR REVIEW DISTRICT 2 <sup>9</sup>	
MXD	MIXED-USE DISTRICT	NEW DISTRICT ADDED June 12, 2026
HC	HIGHWAY COMMERCIAL	NEW DISTRICT ADDED February 7, 2025
C	COMMERCIAL	
I	INDUSTRIAL AND MANUFACTURING	

**R-1 Single-Family Residential District**

The R-1 Residential District provides for detached single-family dwellings on land with sanitary sewers and public drinking water. If sanitary sewers and public drinking water are not available, the Trumbull County Health Department's requirements for lot sizes shall prevail, except that 12,000 square feet shall be the absolute minimum.

**R-2 Single and Two-Family Residential District**

The R-2 Residential District provides for single-family detached and two-family dwellings where sanitary sewers and public drinking water are available. If sanitary sewers or water are not available, the Trumbull County Health Department's requirements for lot sizes shall prevail, except that 12,000 square feet for a single-family dwelling unit and 16,000 square feet for a two-family dwelling unit shall be absolute minimums.

**R-A-1 Multifamily Residential District**

The R-A-1 Multifamily Residential District is intended to provide for a mixture of housing types, including single-family detached dwellings, two-family dwellings, and multifamily dwellings not exceeding six (6) family units per building, where both sanitary sewers and public drinking water are available.

**R-A-2 Multifamily Residential District**

The R-A-2 Residential District is intended to provide multifamily residential housing types where both sanitary sewer and public drinking water are available. This district allows for a mixture of housing types, including multifamily dwellings with more than six (6) dwelling units to a building, multifamily buildings with three (3) to six (6) dwelling units, two-family dwellings, and single-family dwellings.

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<sup>5</sup> Amended 11/2004  
<sup>6</sup> Amended 11/2004  
<sup>7</sup> New District 10/1997  
<sup>8</sup> Added 5/1996  
<sup>9</sup> Added 5/1996

### **R-CH Residential Cluster**

The Residential Cluster District is intended to encourage the efficient use of land and resources, promote greater efficiency in the provision of public services, and support the residential development of properties adjacent to commercial areas and /or other high-intensity land uses.

### **PUD Planned Unit Development**

Planned Unit Development, or PUD District, provides flexibility in land-use design that encourages mixed-use developments while promoting creative site planning and pedestrian-scale design with access to township amenities. The district makes efficient use of existing infrastructure and engages the community through the planning process to ensure the project enhances community character.

### **CRD Corridor Review District**

**CRD-OI - Corridor Review District Office and Institutional** provides a transition between residential areas and more intensive commercial uses. It acts as a buffer, helping to maintain the character of nearby residential neighborhoods while allowing for some non-residential activity. The district allows for small-scale, low-intensity office and professional service uses compatible with surrounding residential areas. This can include professional offices, medical practices, and similar businesses that do not generate high traffic or noise levels.

**CRD-1 - Corridor Review District – 1** is a medium-intensity zone that serves as a hub for small-scale retail sales, services, offices, and eating establishments. The concentration of services in this district can support both local residents and a broader community, providing a wide range of amenities in one area.

**CRD-2 - Corridor Review District – 2** is higher intensity and large-scale retail sales and services, offices, and eating establishments.

### **MXD Mixed Use District**

The Mixed Use District (MXD) is intended to facilitate coordinated development that integrates residential, commercial, office, and civic uses within a compact, walkable environment while maintaining a suburban form and character.

### **HC Highway Commercial**

This district aims to provide for a wide range of large-scale, auto-oriented commercial, retail, and office uses that would serve the varied needs of the Township, business community, and visitors. It encompasses areas along major corridors adjacent to highway interchanges.

### **C Commercial.**

The purpose of this District is to encourage the establishment of areas for retail businesses, personal and professional services, and office and service businesses that meet the needs of a community market area. Activities in this district are often large space uses located along arterials, or major collectors with conveniently located off-street parking areas.

### **I Industrial and Manufacturing**

The purpose of the industrial and manufacturing zoning district is multifaceted, serving both economic and community planning goals. Primarily, this district is an all-encompassing land use category that drives the economic engine of the Township. The districts offer flexibility and ease of adaptation to advanced manufacturing trends.

## **SECTION 2.3 OFFICIAL ZONING DISTRICT MAP**

The Boundaries of these districts are hereby established as shown on the Official Zoning Map of the unincorporated area of Howland Township, Trumbull County, Ohio. Such map is hereby made part of this resolution and any amendments thereto. The Official Zoning Map and all notations and references and other matters shown thereon shall be and are hereby made part of this resolution and amendments thereto. The Official Zoning Map is properly attested and shall remain on file in the office of the Howland Township Zoning Administrator and the office of the Howland Township Trustees.

## **SECTION 2.4 INTERPRETATION OF DISTRICT BOUNDARIES**

Where uncertainty exists with respect to the boundaries of any of the aforesaid districts as shown on the Official Zoning Map, the following shall apply:

- A.** The district boundaries of the Official Zoning Map are intended to follow either street or lot lines, and where the districts designated on the map are bounded approximately by such street or lot lines.
- B.** Where the district boundaries are indicated to be approximately parallel to the street centerline or right-of-way of streets, such district boundary shall be construed as being parallel thereto and at such distance therefrom as indicated on the map. If no distances are given, such dimensions shall be determined by using the scale shown on the Official Zoning Map.
- C.** Where a district boundary does not follow a street or lot line, the district boundary lines shall be determined by the use of the scale shown on the Official Zoning Map.

## **SECTION 2.5 VACATION OF PUBLIC WAYS**

Whenever any street or public way is vacated in the manner authorized by law the zoning districts adjoining each side of the street or public way shall be automatically extended to the center of such vacations, and all areas included in the vacation shall thereafter be subject to all regulations of the extended Districts.

# SECTION 3 GENERAL DEVELOPMENT STANDARDS<sup>10</sup>

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## SECTION 3.1 LOT MEASUREMENTS AND REQUIREMENTS

- A. Distance Measurements.** Unless otherwise stated, distances specified in this Resolution are to be measured as the length of an imaginary straight line joining points.
  
- B. Lot Area.** The computed area of a lot is contained within the lot lines of a single lot excluding any public right-of-way. Where the lot lines extend into a public right-of-way or private street, the area of the lot lying within the public right-of-way or private street shall not be included as part of the lot area for the purposes of this Resolution.
  
- C. Minimum Lot Width.** All portions of every lot shall have a minimum of 20 feet of lot width at every point of the lot unless otherwise approved by this Resolution, such as in a PUD or in a nonresidential zoning district. In addition, all lots must meet the minimum site development standards established for each zoning district.

## SECTION 3.2 PERCENTAGES AND FRACTIONS

- A. Fractional Number.** When a measurement results in a fractional number, any fraction of less than  $\frac{1}{2}$  shall be rounded down to the next lower whole number and any fraction of  $\frac{1}{2}$  or more shall be rounded up to the next higher whole number.
  
- B. Fractional Percentage.** Any fractional percentage of less than 0.5% shall be rounded down to the next lower whole number and any percentage of 0.5% or greater shall be rounded up to the next higher whole number.

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<sup>10</sup> Added July 21, 2017

### SECTION 3.3 CORNER LOTS

- A. Where a lot is considered a corner lot, the required minimum front yard setback shall be provided on each street unless otherwise specified in this resolution.
- B. The narrowest lot line opposite the public right-of-way shall be the rear lot line and rear yard setbacks shall apply.
- C. The longest lot line opposite the public right-of-way shall be the side lot line and side yard setbacks shall apply.
- D. All corner lots created after the effective date of this Resolution shall have a minimum lot area not less than 150 percent of the minimum lot area requirement of the applicable zoning district.
- E. The minimum required lot width of a corner lot in an R-1 or R-2 zoning district shall be increased by an amount equal to the depth of the required rear yard setback of the applicable zoning district.
- F. A principal structure in any residential district (R-1, R-2, R-A-1, R-A-2) on any corner lot shall be required to have the same set-back distance from all street right-of-way lines as is required for the front yard of the zoning district.
- G. An accessory building on a corner lot shall be no closer to the side street property boundary than fifty (50) percent of the lot width or the setback distance of the primary structure from the side street property boundary, whichever is less.
- H. The minimum required front yard setback on the side street of a corner lot in the Industrial and Manufacturing "I" zoning districts can be reduced up to fifty percent (50%).

### SECTION 3.4 CONSOLIDATION OF LOTS

Where two or more lots are proposed to be developed in a single development plan, the lots shall be consolidated into a single lot. The consolidated lot shall be recorded.

### SECTION 3.5 COMMON DRIVES

- A. Common drives that provide access to two (2) or more lots shall be considered public streets to establish minimum setbacks and yard requirements. (Figure 3.5 Common Drive).
- B. Corner lots having frontage on a common drive as well as a public street shall not be included in the calculation to determine the number lots served by the common drive and shall not be subject to requirements of this Section unless the principal use gains primary access from the common drive.
- C. A minimum setback shall equal the minimum front yard setback of the applicable zoning district between the common drive and the principal structure.

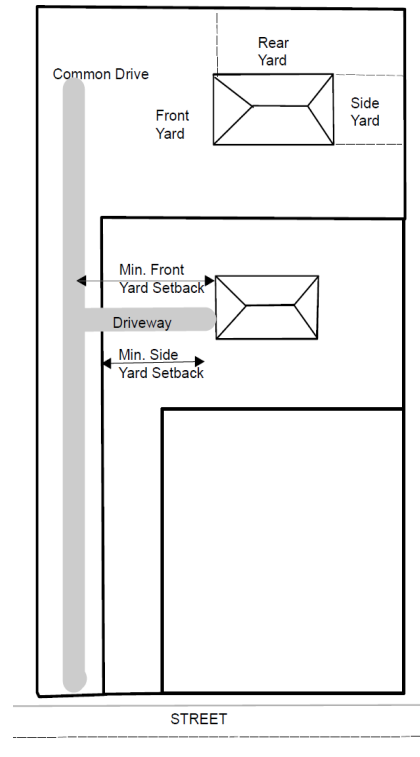


Figure 3.5 Common Drive

- D. There shall be a minimum side yard setback between the principal structure and the side lot line.
- E. The area between the principal building and the common drive shall be considered the front yard.
- F. The creation of a common drive or a public street shall be designed so that the minimum setback requirements of any existing dwelling shall be maintained and that the new drive shall not create a nonconformity.

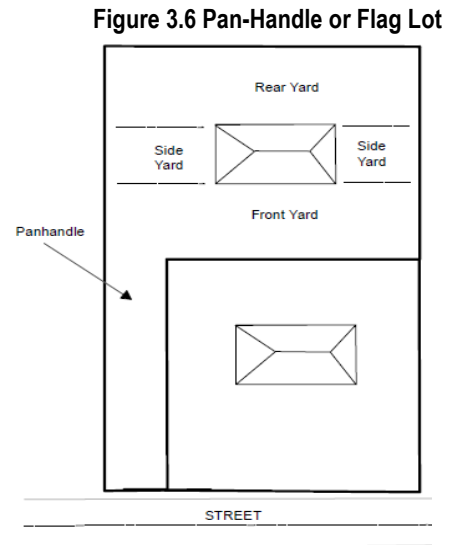
### SECTION 3.6 IRREGULAR SHAPED LOTS

**A Identification of Setback Line on Irregular Lots.** Where any front, rear, or side lot line is not apparent within the definition of this Resolution, the Zoning Administrator shall indicate such on all proposed irregularly shaped lots. The identification of the setback lines shall be part of and recorded in a plat.

**B Pan Handle (Flag) Lots.**

- 1 The minimum front yard setback requirement shall be measured from the lot line that creates the rear lot line of the adjacent lot (Figure 3.6 Pan Handle or Flag Lot).
- 2 For panhandle lots that are not subject to the common drive requirements of Section 3.5 Common Drives of this resolution, there shall be no front yard setback requirements from the driveway.
- 3 The panhandle portion of the lot shall not be included in calculating the minimum lot area.
- 4 The panhandle portion of the lot shall not be used for storage nor shall any structures be permitted in such portion.

**C Double Frontage Lots.** Double frontage lots are prohibited in residential zoning districts.



### SECTION 3.7 BUILDING SETBACK LINES

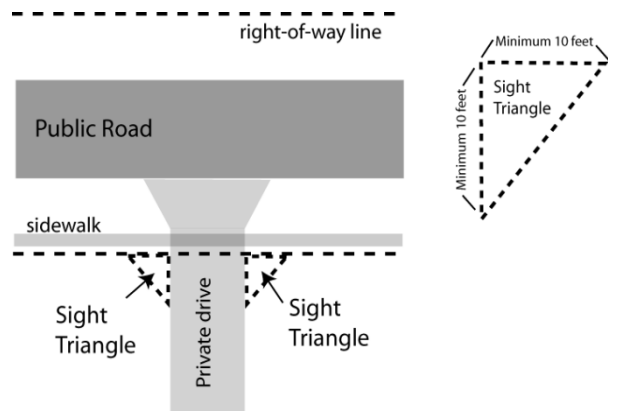
**A. Minimum Setbacks Established.** Minimum setback lines are established within each zoning district.

**B. Existing Building Line Scheme.** In a platted residential subdivision and where there is now an existing building line scheme that is either more than or less than the required minimum front setback distance required by that zoning district, the minimum front setback distance line for new construction shall be required to conform to the greater building line scheme as defined as the line existing within five hundred (500) feet of the subject property and uninterrupted by an intersection.

## SECTION 3.8 CLEAR SIGHT TRIANGLE

**A Maintaining Clear Sight Triangle.** Sight triangles at points of ingress and egress shall be free of plantings, signs, or other objects that will obstruct traffic views. Minimum dimensions of sight triangles shall be as illustrated in Figure 3.8. Clear visibility for drivers shall be maintained in the area between the heights of 3.0 to 8.0 feet above the centerline of grades of the intersecting road surface.

**B Hedges, Shrubs and Trees.** Woody vegetation planted in the front yard must maintain clear visibility within ten (10) feet of the street right-of-way. Vegetation in this area must be maintained between the heights of three (3) feet and eight (8) feet to not materially impede vision.



**Figure 3.8 Clear Sight Triangle**

# SECTION 4 RESIDENTIAL ZONING DISTRICTS<sup>11</sup>

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## SECTION 4.1 PURPOSE

- A.** To provide for the appropriate location for residential development that is consistent with the Howland Township Comprehensive Community Plan, public health and safety standards established by this Resolution, and other appropriate government entities.
- B.** To ensure that there is ample open space and privacy for residential dwellings and to prevent the overcrowding of a residential lot.
- C.** To preserve or enhance the character of existing neighborhoods and to protect residents from the undesirable effects of noise, traffic congestion, overcrowding, and environmental impacts.
- D.** To provide for a range of housing options to serve the long-term needs of the Township.
- E.** To provide for appropriate nonresidential uses that demonstrate that their impact on the residential district with regards to traffic congestion, air quality or other environmental impact, privacy, and neighborhood tranquility is insignificant.
- F.** To provide for appropriate accessory uses that enhance the neighborhood experience and not detract from it.

## SECTION 4.2 GENERAL PROVISIONS

- A.** A Zoning Certificate shall be obtained prior to new construction, the change of use, or the alteration of any structure or property within the residential zoning districts. A Zoning Certificate shall be issued only upon the review and approval of the required application.
- B.** Modifications of existing structures and uses shall fully comply with this Resolution.
- C.** All structures or buildings having an overall first-floor area of greater than 200 square feet shall have an approved foundation according to the rules and regulations of the Trumbull County Building Inspection Department.
- D.** All buildings and lots shall meet the minimum site development standards set forth herein.
- E.** To rezone a property to R-2, R-A-1, R-A-2, or R-CH, a public or approved private water system and centralized sewer system shall be available for the development.

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<sup>11</sup> Section added July 21, 2017

- F. Compliance with The Trumbull County General Health District.** The Trumbull County General Health District may establish larger minimum lot area requirements than established herein for structures that require on-site wastewater treatment.
- G. Individual Lots.** All permitted uses shall be located on an individual and separate lot with the following exceptions.
1. Two dwelling units may be located on a single lot within the R-2 District.
  2. Multiple dwelling units may be located on a single lot for permitted uses within the R-A-1, R-A-2, and R-CH Districts.
- H. Allowable Projections into the Required Yards**
1. General. Eaves, cornices, or other similar architectural features shall be permitted to project into a required yard no more than 12 inches. Chimneys shall be permitted to project no more than 2 feet, provided the width of any side yard is not reduced to less than 6 feet.
  2. Front yards. Open, roofed or unroofed, platforms or landings, stoops and porches shall be permitted to extend no more than 10 feet into the required front yard, provided such porch does not extend above the first level and is no more than 6 feet above grade at any point. An exception may be made for a handicap accessory ramp.
- I. Attached Accessory Buildings** shall be considered attached and subject to these site development standards when they meet any of the following.
1. The structure is an integral part of a principal building and not separated by an open porch, walkway, breezeway, or other similar open structure; or
  2. The structure is connected by a permanently enclosed porch, walkway, breezeway, or other similar enclosed structure.
- J. Separation between buildings**
1. There shall be at least ten (10) feet of clear space between a residential dwelling and accessory building on the same lot.
  2. There shall be at least ten (10) feet of clear space between accessory buildings located on the same or adjacent lots.
  3. There shall be at least twenty (20) feet of clear space between an accessory building and any residential dwelling on an adjacent lot.
- K. Skirting Requirements for Residential Structures.** All dwellings, including manufactured homes, shall have the underfloor crawl space entirely enclosed with either a complete perimeter foundation or approved skirting material. The perimeter foundation or skirting material shall be installed at the time the home is constructed or set. Where skirting is used, the following shall apply.
1. Skirting must be constructed of a durable rigid material such as brick, concrete, vinyl, wood, aluminum, or steel, and shall be suitable for exterior exposure. Skirting shall be of material manufactured for the purpose
  2. Skirting shall be of such surface design and color as to appear to be a common masonry foundation material such as brick, stone, or split face block. Skirting which appears to be vinyl, wood, metal or other material not commonly used for a foundation is not permitted.

- L. Driveways.** Driveways are restricted to that area of a lot reserved for ingress and egress to the main structure and to detached garages structures.<sup>12</sup>
1. Driveways shall not exceed 50 percent of the front yard area.
  2. Driveways shall consist of a hard surface material such as gravel, asphalt, concrete, brick, stone, or porous pavers. Gravel driveways in the front yard area existing at the time of this regulation can be expanded. Circle driveways and turnarounds are permitted in the front yard area.
  3. New or expanded gravel or stone driveways in the front yard shall comply with the following standards:
    - a. A minimum 4"x4" border on both sides composed of wood, brick or other solid material.
    - b. Excavated to a depth of 8" with a minimum of at least a 6" depth of #57 aggregate (limestone preferred) and 2" #8 crushed limestone, or equivalent material or method.
    - c. Be maintained free from weeds, grass, or other vegetation.
    - d. The driveway apron, from the property line to the street, should be made of concrete or asphalt.
- M. Off-Street Parking.** Unless otherwise indicated, all off-street parking shall be regulated by the provisions of [Section 11 Parking Facilities](#) of this resolution.
- N. Secondary Access Road.** Residential developments with 25 or more residential dwelling units require secondary public access to the site for the purpose of public welfare and safety.
- O. Changes to an approved site plan.** All multifamily residential projects shall not deviate from the approved site plan. The Zoning Administrator shall review any proposed modification of the plan to determine compliance with the zoning resolution.
- P. Project timeframe.** All multifamily residential projects shall be started within one year of approval and shall not take more than five years from the approval date to complete. Failure to begin construction within one year will result in the project's voiding.
- Q. Outdoor Lighting** is applicable in all residential zoning districts and in accordance with [Section 15 Outdoor Lighting](#).
- R. Undeveloped areas.** All areas designed for future expansion or not intended for immediate improvement or development shall be landscaped or otherwise maintained in a neat and attractive manner or kept in their pre-development natural state.
- S. Zoning certificate issuance.** Zoning certificates for the construction of each unit shall not be issued until the final development plan is approved and all utilities and other improvements have been installed and inspected by the authorizing agencies. Each structure within the project will require an individual zoning certificate.

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<sup>12</sup> Section added Feb 7, 2025

## SECTION 4.3 PERMITTED USES SUMMARY AND TABLE

- A. Permitted Use Table Summary.** [Table 4.3 Permitted Use](#) sets forth the uses allowed within each zoning district.
1. Permitted Uses
    - a A “P” in a cell indicates that a use is allowed by-right in the respective zoning district. Permitted uses are subject to all other applicable regulations of this resolution.
    - b Permitted uses are approved administratively by the Zoning Administrator through the zoning certificate procedure.
  2. Conditional Uses
    - a A “C” in a cell indicates that a use may be permitted if approved through the conditional use process. Conditional uses may be subject to use-specific standards as identified in the second column of [Table 4.3 Permitted Residential Use Table](#). Conditional uses are subject to all other applicable regulations of this resolution.
    - b The existence of additional standards in this resolution shall not be implied to be the only standards the use is required to meet. All uses that are permitted as a conditional use shall be subject to the general standards for conditional uses in [Section 20.2](#).
  3. Permitted Uses with Standards
    - a A “PS” in a cell indicates that a use category is allowed by right in the respective zoning district if it meets the additional standards set forth in the numerically-referenced sections. Permitted uses with standards are subject to all other applicable regulations of this resolution.
    - b Uses permitted with standards under this category are approved administratively by the Zoning Administrator through the zoning certificate procedure.
  4. Prohibited Uses

A shaded cell indicates that a use is prohibited in the respective zoning district.
  5. Numerical References

The numbers in the “Reference to Specific Standards” column refer to additional standards and requirements that apply to the listed use.
  6. Unlisted Uses
    - a If an application is submitted for a use that the Zoning Administrator determines is not defined or established in [Table 4.3 Permitted Uses Table](#); then it is prohibited. The applicant may choose to take one of the following actions.
      - i. The applicant may appeal the determination of the Zoning Administrator to the Board of Zoning Appeals pursuant to [Section 20.2](#) of this resolution.
      - ii. The applicant may submit an application for a zoning text amendment to include the proposed use and applicable standards pursuant to [Section 20.4](#) of this resolution.
      - iii. The applicant may present their case to the Zoning Commission to request that the Township initiate a text amendment to address the proposed use and applicable standards.

**Table 4.3 Permitted Residential Uses**

P= Permitted Use

PS = Permitted with Additional Standards

C = Conditional Use

Reference to Specific Standards

		R-1	R-2	R-A-1	R-A-2	R-CH
<b>One Single Family Residential Dwelling</b>		P	P	P	P	PS
<b>Two-Family Residential Dwelling</b>	<a href="#">Section 4.4 (B)</a>		PS	PS	PS	PS
<b>Multifamily Dwelling (3 to 6 dwelling units in a structure)</b>	<a href="#">Section 4.4(C)</a>			PS	PS	PS
<b>Multifamily dwelling (6+ dwelling units in a structure)</b>					PS	
<b>Residential Cluster Development (R-CH)</b>						PS*
<b>Permanently Sited Manufacturing Homes</b>	<a href="#">Section 4.5 (B)(8)</a>	PS	PS	PS	PS	PS
<b>Short-Term Rentals</b>	<a href="#">Section 4.5 (B)(5)</a>	PS	PS	PS	PS	PS
<b>Non-Residential Uses</b>						
<b>Cemeteries</b>	<a href="#">Section 4.5 (B)(1)</a>	PS	PS	PS	PS	PS
<b>Educational Facilities</b>	<a href="#">Section 4.5 (B)(11)</a>	C	C	C	C	C
<b>Government Facilities</b>		PS	PS	PS	PS	PS
<b>Hospital, Hospice, Home for the Aging</b>		C	C	C	C	C
<b>Licensed Small Residential Facility</b>	<a href="#">Section 4.5 (B)(10)</a>	PS	PS	PS	PS	PS
<b>Licensed Large Residential Facility</b>			C	C	C	C
<b>Passive Recreation and Conservation Areas</b>		P	P	P	P	P
<b>Place of Worship</b>	<a href="#">Section 4.5 (B)(11)</a>	C	C	C	C	C
<b>Recreational Facilities Type A and Type B</b>		C	C	C	PS	PS
<b>Signs</b>	<a href="#">Section 10</a>	PS	PS	PS	PS	PS
<b>Telecommunication Towers and Facilities</b>	<a href="#">Section 19</a> and ORC 519.211	C	C	C	C	C
<b>Type-B Family Day Care</b>		P	P	P	P	P
<b>Miscellaneous Uses</b>						
<b>Accessory Structures &amp; Uses</b>	<a href="#">Section 4.5 (A)</a>	PS	PS	PS	PS	PS
<b>Electrical Vehicle Charging Station</b>	<a href="#">Section 4.5(B)(12)</a>	P	P	P	P	P
<b>Farm Stand</b>	<a href="#">Section 4.5 (B)(2)</a>	PS	PS	PS	PS	PS
<b>Home Occupations</b>	<a href="#">Section 4.5(B)(9)</a>	PS	PS	PS	PS	PS
<b>Keeping of Animals</b>	<a href="#">Section 4.5 (B)(3)</a>	PS	PS	PS	PS	PS
<b>Parking of Certain Vehicles</b>	<a href="#">Section 4.6</a>	PS	PS	PS	PS	PS
<b>Satellite Dish</b>	<a href="#">Section 4.5 (B)(4)</a>	PS	PS	PS	PS	PS
<b>Solar and Wind Energy Systems</b>	<a href="#">Section 13</a>	PS	PS	PS	PS	PS
<b>Swimming Pool, Hot Tubs</b>	<a href="#">Section 4.5(B)(6)</a>	PS	PS	PS	PS	PS
<b>Temporary Uses and Structures</b>	<a href="#">Section 4.5(B)(7)</a>	PS	PS	PS	PS	PS

\*Each cluster development approval functions as a legislative rezoning.

## SECTION 4.4 DEVELOPMENT STANDARDS

### A. Residential Site Development Standards

<b>Table 4.4 Residential Site Development Standards</b>					
<b>RESIDENTIAL ZONING DISTRICTS</b>					
	<b>R-1</b>	<b>R-2</b>	<b>R-A-1</b>	<b>R-A-2</b>	<b>R-CH</b>
<b>MINIMUM Lot Area</b>	12,000 square feet per dwelling	12,000 square feet per single-family dwelling 16,000 square feet per two-family dwelling	22,500 square feet 7,500 square feet per dwelling unit	43,560 square feet or one acre 5,000 square feet per dwelling unit	217,800 square feet or 5 acres 9,594 sq. ft. per single family dwelling. 6,396 sq. ft. per two-family dwelling. 6,000 sq. ft. per multifamily dwelling.
<b>MINIMUM Lot Width</b>	Eighty (80) feet at front setback line		Eighty (80) feet at public right-of-way.		Not Applicable
<b>MINIMUM Front Yard</b>	Forty (40) feet from the public road right-of-way line. Twenty (20) feet from edge of private roadway.				
<b>MINIMUM Side Yard</b>	A total of twenty (20) feet in accumulated side yards. One side yard shall be at least 8 feet.		Thirty (30) feet between the structure and side lot line and between adjacent structures on the same lot.		See MINIMUM Distance Between Adjacent Residential Dwelling A Fifty-foot (50') perimeter yard is required.
<b>MINIMUM Rear Yard</b>	Forty (40) feet		Sixty (60) feet between the structure and rear lot line and between adjacent structures on the same lot.		
<b>MINIMUM Living Area Per Dwelling Unit Exclusive of Basement.</b>	Twelve hundred (1,200) square feet	1,200 square feet for a single-family dwelling 900 square feet for a two-family dwelling	Nine hundred (900) square feet	Not Applicable	Twelve hundred (1,200) square feet for single-family dwelling. Nine hundred (900) square feet for two-family and multifamily dwelling.
<b>MINIMUM Distance Between Adjacent Residential Dwellings</b>	Twenty (20) feet		See MINIMUM side and rear yards.		Sixteen (16) feet between the sides of single and two-family dwellings and twenty-five (25) feet between multifamily dwellings. Thirty (30) feet between rears of dwellings.
<b>MAXIMUM Structure Height</b>	Thirty-five (35) feet			Sixty (60) feet	Thirty-five (35) feet for single and two-family dwelling and forty-five (45) feet for multifamily dwelling
<b>MINIMUM and MAXIMUM SIDE DIMENSION of principal dwelling</b>	Twenty-four (24) feet Minimum		Minimum - Twenty-four (24) feet Maximum - Two hundred fifty (250) feet		Not Applicable
<b>MINIMUM Buffer Zone</b>	Not Applicable		It is required along the entire property boundary adjacent to any other residential use regardless of jurisdiction. The required buffer zone shall be twenty (20) feet of a side yard and thirty (30) feet of a rear yard.		Required along the entire property boundary adjacent to any other residential use. The required buffer zone shall be half the required perimeter yard requirement.
<b>MINIMUM Open Space</b>	Not Applicable		Fifteen (15) percent		Twenty-five (25) percent

**B. R-2 District Development Standards**

1. Entrances shall be accompanied by a covered porch or stoop to shelter and clearly express the entrance.
2. Blank Walls on end and rear elevations are prohibited.
3. Prominent Garages on two-family and multifamily structures shall not project more than 8 feet from the front wall elevation.
4. Façade Layering. Elevations shall be articulated in ways that give the appearance of multiple façade layers which add depth and avoid the appearance of a flat façade. Suggested techniques include wall plane projections, porches, bay windows, roof projections, and roof eave extensions.
5. Separation of Driveways. Projects that involve more than four (4) dwelling units where the driveways and parking pads are in front of abutting garages (used by separate units) shall be separated by a landscaped strip not less than four feet (4') in width.

**C. Multi-Family Residential District (R-A-1, R-A-2, and R-CH) Development Standards**

1. Minimum Yards.
  - a. For each proposed multifamily building, one front yard, two side yards, and one rear yard shall be designated to promote access to light, air, and open space and circulation for pedestrians and safety forces. Where two side yards, two rear yards, or a side and a rear yard of two buildings abut, only the one yard which has the greater dimension shall be required.
  - b. Perimeter yard is not required where a perimeter yard fronts a public right-of-way or private street in which case that yard area shall be interpreted as a front yard.
  - c. In an R-CH district, the Zoning Commission or Township Trustees may relax the perimeter requirements for any portion of a residential cluster development that directly abuts nonresidential land.
2. Separation of Driveways. The driveways and parking pads located in front of abutting garages (used by separate units) shall be separated by a landscaped strip not less than four feet (4') in width.
3. Minimum Parking Area Setback. No parking area with more than four parking spaces shall be located closer than.
  - a. Thirty feet (30') from front lot line; and
  - b. Thirty feet (30") from side and rear lot lines if adjacent to R-1 or R-2 District; or ten feet (10') if adjacent to other zoning district; and
  - c. Sixty feet (60') from rear lot line if adjacent to R-1 or R-2 District.
4. Minimum Open Space. Where there is a minimum open space requirement, the proposed area shall be devoted to preservation of land in its natural state, outdoor recreation, or other common open spaces.
  - a. The proposed open space shall be designated on buffer and landscaping and site plans for the proposed project. The plans shall include a statement on the methods to be employed that assure the continued preservation and/or maintenance of the open space.
  - b. Open space shall be designated and located to be integrally related to the overall design of the development with respect to its location, distribution, size, and shape so as to serve the intended purpose of accessibility and convenience for the maximum number of residents possible.

c. The open space shall not include minimum space between buildings, space between parking and buildings, between parking and property lines, between property lines and buildings, or any other such land fragments.

d. Detention (dry) ponds shall not be included in this calculation. Retention (wet) ponds may be included, if they will be extensively landscaped and enhanced (i.e. split-rail fencing), and include aeration fountains.

e. The required open space in an R-CH district should be primarily arranged so as to surround the residential clusters. The residential clusters should be centered on the property. And no individual, non-contiguous segment of the common open space shall be less than one (1) acre. Where warranted by topographic constraints, the required open space may be located in areas other than the perimeter area.

f. Public utility or similar easements are not acceptable as common open space unless such land or easement is usable for passive recreation.

g. The long-term maintenance of the common open space shall be specified by the applicant prior to approval. Common open space shall be either held in common ownership by the owners of the development, dedicated to a homeowner's association, or consideration may be given to another management option, acceptable to Howland Township, that ensures the long-term maintenance and continued use and enjoyment of the open space for the residents of the development.

h. Legal articles relating to the organization of the homeowners or condominium association are subject to review and approval by Howland Township.

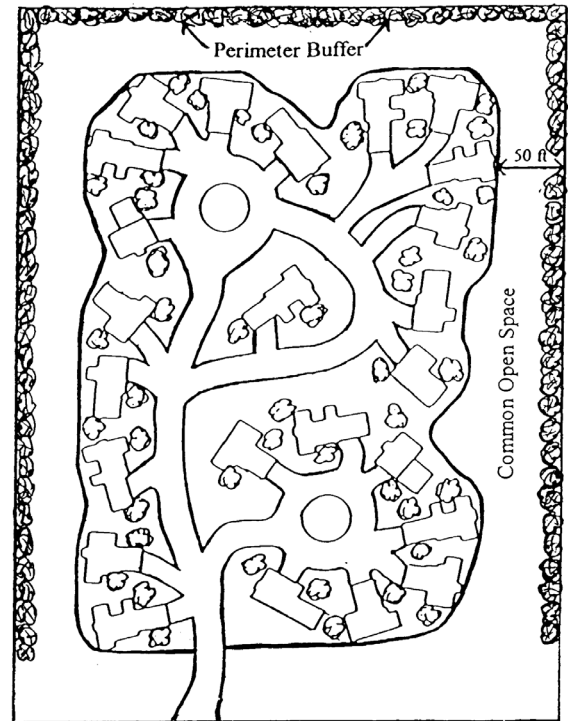
5. Design Standards. In order for the proposed development to meet this standard, the following elements must be shown on proposed architectural elevations.

a. Materials such as brick, stone, cultured stone, and stucco, or other materials that have a similar appearance shall be utilized by a minimum of thirty (30) percent of the exterior of the structure, exclusive of dormers, windows, doors and gable ends. The remaining portion may be finished with vinyl siding, wood shiplap siding, wood shake shingles, or other faux materials that provide a similar appearance.

b. All exposed foundations shall be finished in brick or stone masonry.

c. Four-sided architecture shall be utilized, meaning that all four elevations shall provide architectural detailing that includes, but is not limited to, windows, doors, porches, and other features.

Figure 4.4 Perimeter Buffer



- d. Elevations shall be articulated in ways that give the appearance of multiple façade layers that add depth and avoid the appearance of flat residential facades. Suggested techniques include, but may not be limited to, wall plane projections and breaks, porches, balconies, bay windows, roof projections, and extending the roof eaves.
  - e. The exterior walls of no more than two (2) abutting dwelling units (exclusive of attached garages) shall be aligned in the same plane.
  - f. Variations in the setbacks of dwellings in a multifamily building are encouraged.
  - g. Roof Lines.
    - i. Multifamily dwellings constructed with three (3) or fewer stories shall have sloped roofs
    - ii. Not more than two (2) abutting dwelling units shall share the same roof.
    - iii. Variations in roof alignments and roof features such as dormers are encouraged.
    - iv. Rooftop mechanical equipment shall be shielded or screened from public view.
  - h. Garages.
    - i. Garages may be attached or detached.
    - ii. All accessory structures must either be architecturally incorporated into the building design, or, when detached, designed to be architecturally compatible with the building design.
    - iii. At least one horizontal panel in every garage door of a prominent garage shall include windows, or the appearance of windows, across the full width of the door.
    - iv. In an R-CH district, each unit shall be provided at least two parking spaces within an enclosed garage facility. Car ports are not permitted.
6. Landscaping. Refer to [Section 12, Landscaping and Buffers](#), for standards.
7. Pedestrian Connections.
- a. Projects with four or more residential structures shall incorporate walking trails and/or sidewalks into the development site that serve to connect the residential structures.
  - b. All dwelling units shall be connected to the walking trail and/or sidewalk.
  - c. The trail/sidewalk shall connect to open areas throughout the proposed development, and to adjacent parks, recreation areas, and open spaces if available.
  - d. The trail/sidewalk shall connect to an existing sidewalk in the public right-of-way or to a Priority Pedestrian Corridor as defined in [Section 11.6\(B\)\(2\)](#).
8. Waste Receptacle Areas.
- a. Whenever an area is set aside for the temporary storage of waste materials, garbage, etc., it must be fully enclosed and screened from view with a wall, fence, or other structure to a height of six (6) feet.
  - b. This area shall not be in any front yard.
  - c. This area shall be located at least twenty (20) feet from any adjoining property line.

9. Lighting and Utilities
  - a. Utility systems shall be located underground. Appurtenances to these systems shall be effectively screened.
  - b. Exterior lighting should enhance building architecture, reinforce entries and illuminate walkways.
  - c. Energy conservation and efficiency should be considered.
  - d. All external outdoor lighting shall consist of cut-off fixtures or down lighting to avoid unnecessary glare.
  - e. A photometric plan is required and shall demonstrate negligible light trespass onto adjacent residential uses.
10. Traffic Impact Analysis. A traffic impact analysis to identify potential impacts on existing roadways and identify how any effect can be mitigated shall be required when.
  - a. A proposed multifamily project has at least 100 dwelling units including all phases of development or;
  - b. Howland Township, or another agency having jurisdiction over the roadway system, determines that the proposed development may exacerbate existing traffic safety issues or may cause new traffic safety issues.
11. Address System. All buildings and dwelling unit entries shall be clearly marked with a comprehensive address system. Addresses shall be installed and maintained on all buildings and entries in locations visible from the public or private street using numbers at least six (6) inches in height. Each address shall be lighted.

**D. Residential Cluster (R-CH) Special Provisions.**

1. Residential Cluster "R-CH" zoning may only be implemented at the request of the property owner, the Township Zoning Commission and Trustees shall have greater discretion in requiring aesthetic qualities, amenities, and plan features than would normally be provided under other zoning classifications. If for any reason the Township Trustees determine that development under the existing zoning classification is more beneficial to the community than the proposed cluster home project, the application will be denied.
2. An approval of a Residential Cluster "R-CH" project plan will constitute a zone change, the provisions of ORC 519.12 shall apply.
3. Before making its recommendation to the Township Trustees, the Zoning Commission shall find that the facts submitted with the cluster home application and presented at the public hearing establish that.
  - a. Any relaxation of standard district requirements for the proposed use as specified in [Section 4 Residential Zoning Districts](#) of these resolutions, is compensated for by the design features and other amenities incorporated in the final development plan, and will not be detrimental to the health, safety, and welfare of the general public, as expressed in the Section at the beginning of this resolution-
  - b. The proposed cluster home project takes advantage of landscape features, buffers, land use layout, and building design features to ensure that the project blends in with the surrounding community.
  - c. The proposed streets within the cluster home project are suitable and adequate to carry anticipated traffic, and to accommodate safety service vehicles. In addition, any relaxation of density requirements of the development will not generate traffic in such amounts so as to adversely impact the street network outside of the cluster home project.

- d. The existing and proposed utility services are adequate for the population densities proposed.
- e. The Fire Department, Police Department, Public Works Department, County Engineer, County Sanitary Engineer, and County Planning Commission have reviewed the site plan, and have had opportunity to present comments relative to their spheres of authority.
- f. The proposed development will be initiated within one (1) year, and completion will occur within five (5) years of approval.
- g. The proposed cluster home project meets the spirit and intent of the land use plan recommendations for the area.

## SECTION 4.5 USE-SPECIFIC REGULATIONS

### A. Accessory Uses and Structures

1. General Provisions. Accessory uses and structures are permitted provided.
  - a. The building or use is incidental to and customarily found in connection with the principal residential dwelling in the district in which it is located; and
  - b. The building or use is subordinate to and serves the principal residential dwelling or use; and
  - c. It is subordinate in size, area, extent, and purpose to the principal residential dwelling or use; and
  - d. It is located on the same lot as the principal residential dwelling or use which it serves; and
  - e. It is not used as living quarters.
  - f. Accessory structures in multifamily districts shall be permitted in conformance with the final approved development site plan.
2. Development Standards
  - a. Attached accessory buildings.
    - i. Shall meet all site development standards of the appropriate zoning district.
    - ii. Shall not exceed 50% of the habitable floor space of the principal residential dwelling to which it is attached or 576 (24x24) square feet, whichever is greater.
  - b. Detached accessory buildings
    - i. Location. Shall be located in the rear yard only except those accessory buildings without walls, such as pergolas, gazebos, and arbors, which are permitted in a side yard.
    - ii. Carports.
      - (a) Free-standing or stand-alone carports are only permitted in R-A-1 and R-A-2 Districts.
      - (b) Free-standing or stand-alone carports are prohibited in R-1, and R-2 Districts.
      - (c) Carports serving an attached dwelling shall be located to the side or rear of such dwelling.

- iii. Height.
  - (a) Maximum height of a detached accessory building 200 square feet in size or less shall not exceed twelve (12) feet.
  - (b) Maximum height of a detached accessory building greater than two hundred (200) square feet in size shall not exceed twenty-two (22) feet. However, the height shall not exceed that of a primary residential structure.
- iv. Maximum floor area.
  - (a) The total floor area of all detached accessory buildings on a single lot shall not exceed 75% of the habitable floor area of the principal residential dwelling.
  - (b) The total floor area of all detached accessory buildings on unplatted parcels that are two (2) acres in size or greater and on a single lot shall not exceed 125% of the habitable floor area of the principal residential dwelling. No single detached accessory building shall exceed the size and area of the principal dwelling.
- v. Maximum number of accessory buildings.
  - (a) In an R-1 district, no more than three (3) detached accessory buildings are permitted on a single lot, two (2) of which may be used for storage purposes.
  - (b) In an R-2 district, no more than four (4) detached accessory buildings are permitted on a single lot with two (2) dwelling units.
- vi. Minimum Side Yard Setback. An accessory building greater than two hundred (200) square feet in size shall maintain a minimum side yard setback from the side lot line as identified for the principal structure in the applicable zoning district. An accessory building 200 square feet in size or less shall maintain a minimum side yard setback of five feet (5') from the side lot line.
- vii. Minimum Rear Yard Setback. All accessory buildings, regardless of size, shall maintain a minimum rear yard setback of ten (10) feet from the rear lot line.

**B. Standards for Specific Uses in Residential Districts.**

- 1. Cemeteries.
  - a. The minimum lot area for any new cemetery is ten (10) acres.
  - b. Any cemetery that exists as of the effective date of this resolution, or amendment thereto may be expanded regardless of the size of the existing lot area.
  - c. Cemeteries may include chapels and other accessory buildings associated with the use.
  - d. Except for office uses incidental to cemetery operation, no business use shall be permitted on the site.
  - e. All maintenance equipment and materials shall be stored in an enclosed building and out of public view.
  - f. Cemeteries shall comply with the minimum standards established by the State of Ohio.

2. Farm Stands
  - a. Farm stands are permitted in accordance with ORC 519.21 and the following standards.
    - i. Farm stands are prohibited unless at least 50% of the stand's gross income is derived from produce raised on farms owned or operated by the stand operator in a normal crop year.
    - ii. The farm stand shall be located on the same property where the produce is raised.
    - iii. Farm stands shall be set back a minimum of twenty (20) feet from all lot lines.
    - iv. Farm stands shall not exceed one hundred fifty (150) square feet in size including all displays associated with the farm stand.
  - b. Farm stands must be removed within fourteen (14) days of discontinuing the use.
  - c. Any signage located on the site shall not be illuminated and shall be subject to the standards of [Section 10. Signs.](#)
  
3. Keeping of Animals
  - a. The keeping of exotic animals is prohibited
  - b. The keeping of domestic animals may be permitted on lots between one acre and five acres in accordance with ORC 519.21 and the following standards.
    - i. Domestic animals shall not be kept on any lot that is less than one acre.
    - ii. Small domestic animals such as fowl may be kept on a lot one acre or more and at a density equal to one animal for every 5,445 square feet of lot area. Roosters are prohibited.
    - iii. Medium and large domestic animals such as goats, sheep, pigs, cows, and horses may be kept on a lot that is not less than three (3) acres at a density equal to one animal for every acre.
    - iv. Appropriate shelter must be provided to protect animals from the elements and predators. It must be adequately ventilated, designed to be easily accessed and cleaned, and of sufficient size to permit free movement of the animals.
    - v. Adequate fencing must be installed to safely contain the domestic animals inside the rear yard area.
    - vi. All buildings, coops, exterior storage, supplies, and refuse associated with the keeping of domestic animals shall be in a rear yard and set back a minimum distance of 30 feet from all lot lines and 100 feet from adjacent residential dwellings. It is recommended that manure storage be located at least 100 feet from any drinking water wellhead.
    - vii. Buildings relating to the keeping of domestic animals on lots less than 5 acres shall comply with the regulations of the appropriate zoning districts with regard to height and area.
    - viii. The keeping of domestic animals shall only be for the enjoyment of the property owner or lessee thereof and respective family, without the payment of any fee.
    - ix. The keeping of domestic animals or household pets for commercial purposes is prohibited.

- c. In no instance shall the keeping of any animal be allowed to become a public or private nuisance.
4. Satellite Dishes
- a. Satellite dishes of one meter in diameter or less shall be exempt from these provisions. To the maximum extent possible, the dish should be located in the side or rear yard.
  - b. Any satellite dish that is larger than one meter in diameter shall be subject to the following.
    - i. The dish shall be permitted in the rear or side yard and are subject to accessory setback requirements.
    - ii. The dish shall not exceed 15 feet in height measured from the natural grade.
    - iii. The maximum diameter of a dish shall not exceed 10 feet.
    - iv. Fencing or landscaping shall be utilized around the dish or subject property so as to fully screen the dish from view from adjacent properties and street right-of-way.
5. Short-term Rental Units<sup>13</sup>
- a. Purpose. The provisions of this section are intended to protect and promote the health, safety, and welfare of all Howland Township residents as well as those visiting the area by requiring the permitting of short-term rentals within the Township. It is the intent of this section to minimize the impact of short-term rentals on adjacent residences, neighborhoods, and the community.
  - b. Applicability. This section applies to residential dwelling units in residential zoning districts in Howland Township and to all persons owning or exercising control over such buildings or premises that are rented, in whole or in part, for less than 30 days at a time during a calendar year. A Short-Term Rental (STR) located in a business district that allows lodging is not subject to these regulations but is subject to the zoning uses and development standards in the business district in which it is located.
  - c. Non-conformance. A STR that existed before these regulations shall not be denied a zoning permit regardless of its location; however, it is subject to all other requirements of this regulation. The applicant bears the burden of proof of its non-conformity, which shall be determined by the Township's Zoning Administrator.
  - d. Permit Required.
    - i. The property owner of any dwelling unit located in residential zoning districts in Howland Township shall not rent, or allow to be rented, a dwelling unit to another person for less than 30 days at a time during a calendar year, unless the property owner has obtained a STR Permit for that dwelling in accordance with the requirements of these regulations.
    - ii. A STR Permit expires on December 31st of every year. The property owner must reapply annually. Failure to secure a permit by January 1st of the year constitutes a violation of the Zoning Resolution.

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<sup>13</sup> Section added Feb 7, 2025

- iii. If the dwelling that is the subject of a valid STR Permit is transferred to a new owner, then the existing STR Permit will expire on the thirty-first day after the transfer is recorded with the Trumbull County Recorder's Office. If the new owner of the dwelling applies for a new STR Permit within 30 (thirty) days after the transfer is recorded, then the existing STR Permit will remain valid until the Township's review of the new owner's application is complete and final.
  - iv. New zoning permits for an STR issued mid-year shall expire at the end of that same year, and a new Short Term Rental Permit application must be submitted for the following year.
  - v. Failure to make a timely application for an STP permit may result in the denial of an STR permit.
- e. Application For Short-Term Rental Permit.
  - i. Responsibility. It shall be the responsibility of the owner of a short-term rental or the owner's authorized agent to apply for a permit through the submission of a short-term rental permit application. The application shall be on a form prepared by Howland Township.
  - ii. Application form. A person seeking a short-term rental permit shall submit a complete application, certified as being true, to the Zoning Administrator. The application shall include the information specified on the short-term rental application form and any other information deemed reasonably necessary by the Zoning Administrator to determine whether the short-term rental standards and regulations have been met.
  - iii. Application fee. The application fee, as set forth in the Township fee schedule, must be paid before the Zoning Administrator issues a permit.
  - iv. Complete Application. A short-term rental permit application shall not be considered accepted until the Zoning Administrator deems it to be complete. Furthermore, if the applicant fails to provide all the information required by these regulations or fails to pay the required fee, then the application shall be deemed incomplete and may be denied by the Zoning Administrator on that basis.
  - v. Permit. Once deemed to be complete, if an application complies with all the standards and regulations set forth herein, the Zoning Administrator shall approve the short-term rental permit.
- f. Short-Term Rental Standards. In recognition of the unique difficulties presented by short-term rentals, the following standards and regulations shall apply to all short-term rentals in Howland Township. These standards and regulations, however, shall not supersede deed restrictions on any property (including subdivision developments) and shall not supersede any provisions of the master deed and/or bylaws of a condominium development or HOA, unless such regulations or restrictions conflict with the standards and regulations set forth herein. Further, the applicant shall be advised that the granting of a short-term rental permit by Howland Township does not mean that the applicant may ignore/not comply with the referenced regulations or restrictions.
  - i. Occupancy. The maximum occupancy for a short-term rental shall be two (2) persons per bedroom, not including pre-school-aged children. In no case may the number of persons occupying a short-term rental,

- including all guests of the occupants, exceed ten (10) regardless of the number of bedrooms.
- ii. Distance Requirement. No short-term rental shall be located within 1,000 feet of another short-term rental, measured from property line to property line.
  - iii. A designated property manager shall be identified who may be the owner of the short-term rental home or the owner's agent. The property manager shall be available to Howland Township 24 hours per day to ensure that the property is maintained and operated as required by this Resolution.
  - iv. Guest parking shall only be in identified parking spaces as defined in these regulations. No on-street parking or parking in the grass shall be permitted in association with a short-term rental. Storage of recreational vehicles is allowed on off-street paved parking surfaces on the same lot as the short-term rental home, in the same manner as allowed for other dwelling units in the same zoning district. These items may not be stored within the public right-of-way. If there is not enough legal on-site parking for the storage or parking of recreational vehicles, the owner or property manager must provide alternative arrangements for their storage.
  - v. Special events, such as a wedding, outdoor party, family reunion, or similar gathering that exceeds the maximum number of occupants allowed under the short-term rental permit are not permitted.
  - vi. No commercial dumpsters shall be allowed on the property containing the short-term rental.
  - vii. The exterior appearance of the dwelling unit containing a short-term rental shall not conflict with the residential character of the neighborhood. All structures and premises shall be properly maintained and kept in good repair.
  - viii. A fire extinguisher that is in good working order shall be maintained at all times on the premises of all short-term rental homes.
- g. Required Notices. The following notices shall be posted in a conspicuous location inside the short-term rental unit.
- i. A copy of the short-term rental permit along with the Township's short-term rental regulations;
  - ii. The name, address, and telephone number(s) of the property manager;
  - iii. The location of the required parking spaces;
  - iv. The location of the fire extinguisher; and
  - v. Information on the trash and curbside recycling programs.
- h. Non-Transferability. Short-term rental permits shall be granted solely to the Applicant and shall not be transferable to any other person or legal entity. The permit shall include a non-transferability clause, and the use shall be terminated automatically upon the sale or change of ownership of the property for which a permit has been issued.

6. Swimming Pools, Hot Tubs, Spas
  - a. A zoning certificate shall be required for all types of pools, hot tubs, and spas that do not meet the definition of a portable swimming pool.
  - b. Swimming pools, hot tubs, spas are permitted in the rear yard in residential districts provided they comply with the following.
    - i. Edge of the pool, hot tub, or spa shall maintain a fifteen (15) foot setback from any side and rear lot line.
    - ii. All outdoor pool structures, including in ground, above ground, or on ground, hot tubs or spas, shall have a barrier which complies with the following.
      - (a) The top of the barrier shall be at least sixty (60) inches above the surface measured on the side of the barrier which faces away from the swimming pool.
      - (b) Where the top of the pool structure is above grade, such as an above ground pool, the barrier may be at the ground level such as the pool structure, or mounted on top of the pool structure. Barrier shall be constructed so as to have no openings, holes, or gaps larger than four (4) inches in any dimension.
      - (c) Access gates to the pool shall be equipped with a locking device. Access gates shall open outward, away from the pool, and shall be self-closing and self-latching.
      - (d) Where the release mechanism for the self-latching device is located less than 54 inches from the bottom of the gate;
        - (i) the release mechanism shall be located on the pool side of the gate at least three (3) inches below the top of the gate and
        - (ii) the gate and barrier shall have no opening greater than one-half ( $\frac{1}{2}$ ) inch within 18 inches of the release mechanism.
      - (e) Where an above ground or on ground pool structure is used as a barrier or where the barrier is mounted on top of the pool structure, and means of access is a ladder or steps, then;
        - (i) the ladder to the pool or steps shall be capable of being secure, locked or removed to prevent access or
        - (ii) the ladder or steps shall be surrounded by a barrier.
      - (f) Hot tubs and spas with a rigid locking cover need not be enclosed by a sixty (60) inch barrier.

7. Temporary Uses and Structures.
  - a. General Standards
    - i. All temporary uses and structures shall be reviewed in accordance with this Section and all other applicable Sections of this zoning resolution.
    - ii. All temporary uses and structures shall.
      - (a) Not be detrimental to property or improvements in the surrounding area or to the public health, safety, or general welfare;
      - (b) Be compatible with the principal uses taking place on the site;

- (c) Not have substantial adverse effects or noise impacts on nearby residential neighborhoods;
  - (d) Not include permanent alterations to the site;
  - (e) Not maintain temporary signs associated with the use or structure after the activity ends;
  - (f) Not interfere with the normal operations of any permanent use located on the property; and
  - (g) Contain sufficient land area to allow the temporary use, or structure to occur, as well as adequate land to accommodate the parking and traffic movement.
- b. Use-Specific Standards
- i. Construction Trailers
    - (a) Construction trailers shall be located on the same site or in the same development as the related construction.
    - (b) Construction trailers shall be used in conjunction with development subject to a valid zoning certificate.
    - (c) Construction trailers shall be removed from the site within thirty (30) days of project completion.
    - (d) Construction trailers shall also be removed from the site if construction is abandoned or halted for three or more consecutive months.
  - ii. Garage and Estate Sales
    - (a) Garage or estate sales are permitted at any residential dwelling unit.
    - (b) Garage or estate sales require a permit.
    - (c) Garage and estate sales are permitted three times per calendar year and not to exceed three consecutive days during a 30-day period.
    - (d) Sales are to be conducted during daylight hours only.
  - iii. Portable Storage Units, Construction Dumpsters, and Portable Toilet Facilities
    - (a) Portable storage units shall only be permitted for the following situations.
      - (i) For storage at a nonresidential construction site for a period not to exceed 90 consecutive days;
      - (ii) When necessary to facilitate clean up and/or restoration activities resulting from a fire or natural disaster to a building or structure for a period not to exceed 180 consecutive days; or
      - (iii) When the occupant of the property is relocating for a period not to exceed 30 consecutive days.
    - (b) Any construction dumpster shall only be permitted for a period not to exceed 30 days. It is recommended that the dumpster be situated at least twenty (20) feet from adjacent lot lines.

- (c) Any portable toilet facility shall be set back a minimum of twenty (20) feet from all adjacent lot lines.
  - (d) Only one portable storage unit shall be permitted on a single lot for residential use at any one time.
  - (e) Any portable storage unit, construction dumpster, or portable toilet facility unit must include a placard which is clearly visible and which includes the container identification number (where applicable), the business that owns and is responsible for the unit, dumpster, or facility, and a phone number of such business.
  - (f) Portable storage units, construction dumpsters, and portable toilet facilities, shall not be placed in the public road right-of-way and shall not block sidewalks or fire lanes.
  - (g) Storage of hazardous materials as defined under applicable state, local and federal laws and regulations are prohibited.
  - (h) Portable storage units, construction dumpsters, and portable toilet facilities must be placed and kept on a hard surface at all times.
  - (i) No part or former part of a semi-trailer or trailer shall be utilized as a portable storage unit or permanent accessory structure in any residential zoning district.
  - (j) Portable storage units, construction dumpsters, and portable toilet facilities shall be located in the side or rear yard to the maximum extent possible.
  - (k) Portable storage units, construction dumpsters, and portable toilet facilities shall not be connected to any utility.
8. Permanently-Sited Manufactured Home for Residential Use. Any permanently-sited manufactured home shall comply with all site development regulations of the appropriate zoning district.
- a. The structure must comply with the definition of a permanently-sited manufactured home.
  - b. The structure shall be installed upon and properly attached to a permanent foundation system approved by the proper governing authority.
  - c. All hitches, axles, wheels, and conveyance mechanisms shall be removed from the structure.
  - d. The structure shall comply with all yard and setback requirements for the district for which it is proposed.
  - e. The structure shall comply with all parking requirements in effect for the district for which it is proposed.
  - f. The site shall be serviced by adequate essential utilities.
  - g. The structure shall be located on the site so that its long axis is parallel with the street or so that it is situated such that its orientation most resembles the characteristics of the neighborhood in which it is located.
9. Home Occupations
- a. General Standards
    - i. The purpose of these standards is to ensure that dwellings and residential districts continue to be primarily residential in nature where home occupations are permitted as accessory, subordinate uses.

- ii. The use of the dwelling for a home occupation or home occupations shall be clearly accessory, incidental and subordinate to the use of the dwelling for residential purposes by its occupants.
  - iii. No exterior alteration of the dwelling shall be permitted which is not consistent and compatible with the normal scale, orientation, or appearance of typical dwellings in the neighborhood.
  - iv. No separate entrance shall be constructed for access to the home occupation from the outside of the dwelling.
  - v. A home occupation shall not occupy an area greater than twenty five percent (25%) of the gross floor area of the dwelling.
  - vi. Only residents of the dwelling in which the home occupation is located shall own, conduct, participate in, or be employed in the home occupation(s), provided that off-site non-resident employees who do not come to the home occupation location are permitted.
  - vii. The dwelling shall be the primary residence of the resident owner of the home occupation.
  - viii. Delivery service vehicle trips shall not be more frequent than that which is normal for the district.
  - ix. The home occupation shall not generate pedestrian or vehicular traffic beyond that which is normal and reasonable in the district in which it is located. Client visits to the home occupation are limited to between the hours of 7.00 AM and 8.00 PM and shall be by appointment only. No more than two clients may be present at any given time.
  - x. There shall be no substantial retailing or wholesaling of stocks, supplies or products conducted on the premises; however, delivery of retail products to the consumer off-premises, such as in the course of a mail order business, shall be permitted.
  - xi. Not more than one (1) passenger car, van, or pickup truck used in the conduct of the business shall be parked on the lot. The vehicle shall be parked in a garage or on a paved exterior parking area on the lot. This provision is subject to [Section 4.6 Parking of Certain Vehicles](#).
- b. Prohibitions. A home occupation shall not.
- i. Serve as a gathering place for non-resident employees of the business.
  - ii. Conduct any activity or store material that requires fire safety inspections or permits.
  - iii. Conduct any activity that requires the use of mechanical ventilation in addition to or in excess of that normally required for a dwelling.
  - iv. Conduct any activity involving a controlled substance.
  - v. Utilize mechanical, electrical, or other equipment that produces noise, electrical or magnetic interference, line voltage fluctuation, vibration, heat, glare, odor, fumes, or other nuisances or hazards outside of the dwelling.
  - vi. Sell or display on the premises commodity or stock in trade.
  - vii. Store equipment or materials utilized in the home occupation outdoors.
  - viii. Serve as boarding or tenant housing unless otherwise permitted in the district.
  - ix. Install advertisement signage on the exterior structure or property.

10. Residential Facilities
  - a. A residential facility shall be licensed or certified by the State of Ohio or their designee, as authorized by statute.
  - b. A residential facility shall be constructed in accordance with the development standards of the zoning district in which it is located.
  - c. A residential facility shall be residential in character.
  - d. Each dwelling unit in which a Small Residential Facility is established shall be deemed a separate residential facility.
  - e. A dwelling unit in which a Small Residential Facility is established shall not be closer than 500 feet to the next closest dwelling unit used as a Small Residential Facility in any Single-Family Residential District (R-1) zoning district.
  - f. A Zoning Certificate is not required for the location of a Small Residential Facility within an existing structure unless changes are being made that warrant a zoning certificate.
  - g. The following standards shall apply where a Large Residential Facility is conditionally-permitted
    - i. The development standards for the zoning district in which the facility is located shall be observed including compliance with setback and height requirements, building design, landscape and buffering, waste containment, accessory structures, pedestrian and parking facilities, and signage.
    - ii. The facility shall be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with existing or intended character of the neighborhood or vicinity.
    - iii. The facility shall not be disturbing to existing or future neighborhood uses and shall not be detrimental to the property in the vicinity or the community as a whole.
    - iv. The facility shall be adequately serviced by public facilities and services and shall be in compliance with all State, County, and Township regulations.
    - v. Traffic generated by the facility shall not differ in nature or volume from traffic generated by other permitted uses in the district.
  
11. Development Standards for all Non-Residential Uses in a Residential District.
  - a. Minimum Lot Size.
    - i. Minimum lot size for educational facilities, hospital, hospice, home for the aging shall be five (5) acres.
    - ii. Minimum lot size for all other conditional uses is one (1) acre except that community gardens and playgrounds may be located on lots less than one (1) acre.
  - b. Minimum Lot Frontage.
    - i. Minimum frontage for a hospital, hospice and home for the aging shall be 500 feet facing a public street.
    - ii. Minimum frontage for all other conditional uses shall be 200 feet.
  - c. Maximum Building Coverage shall not exceed 25% of a lot area excluding public right of way. Maximum impervious surface coverage shall not exceed 75%.

- d. Minimum Front Yard Setback. No building or structure shall be located closer than forty feet (40') from the street right-of-way.
- e. Minimum Side Yard Setback.
  - i. Educational facilities, hospital, hospice and places of worship require a minimum side yard setback constituting 50% of the building frontage
  - ii. No other building or structure shall be located closer than fifty feet (50') from a side property line.
- f. Minimum Rear Yard Setback. No building or structure shall be located closer than forty feet (40') from the rear property line.
- g. Height. No building or structure shall exceed thirty-five feet (35') exception may be made for uninhabitable spaces such as a church steeple or spire.
- h. Parking Area Setback. The parking area shall be set back a distance of at least thirty feet (30') from all property lines.
- i. ODOT Standard Curbing Required
  - i. All parking lots shall be surrounded by concrete curbing. This curbing should meet ODOT "Type 6" standards.
  - ii. All or parts of curbs may be waived by the Zoning Administrator where necessary to permit treatment of storm water through vegetated features or other storm water best practices
- j. Landscaping, Buffers and Screening. Landscaping, buffer, and screening standards applicable to [Section 12 Landscape and Buffers](#) of this Resolution shall be applicable to all nonresidential development in any residential district, except that a buffer is not required where the project abuts a nonresidential use or zoning district.
- k. Site and Building Design Standards. Site and building design standards applicable to the Corridor Review District (See [Section 5.4 B-E](#)) shall be applicable to all nonresidential development in any residential district.
- l. Consolidation of Lots Required. Where two or more lots are to be developed in a single development plan, the lots shall be consolidated into a single lot. The consolidated lot shall be recorded.
- m. Traffic Impacts. Traffic volumes that exceed those typical of other permitted uses in the subject zoning district shall be identified, especially large and peak volumes of vehicles entering or exiting in a short period of time, such as near the beginning or end of assembly events. Measures to mitigate the impacts of such traffic events on abutting and nearby public roads shall be designed, constructed and maintained to mitigate the impacts to a typical level.
- n. Outdoor Activity Standards. The following standards shall apply to outdoor activity at Places of Worship, Educational Facilities, and Recreational Facilities.
  - i. Outdoor recreational facilities for active sports (including but not limited to baseball, football, basketball, swimming, soccer, skateboarding) shall be setback from at least 100 feet from residentially used or zoned property.
  - ii. Outdoor recreational structures (including but not limited to backstops, fences, temporary or permanent spectator seating, restrooms, and concession stands) shall be setback from all side and rear property lines at least 100 feet.

- iii. Outdoor activities shall be identified and described in the zoning application, including seasonal variations, average and maximum numbers of persons in attendance at assembly events, any outdoor noise, lights, or other exterior impacts that may affect abutting properties. Exterior impacts that exceed those typical of other permitted uses in the subject zoning district shall be identified. Site features shall be designed, constructed, and maintained to mitigate the impact to a typical level.
  - iv. Hours of operation that differ from normal business hours in the subject district shall be identified along with any off-site impacts thereof and measures to mitigate such impacts.
  - v. Outdoor loudspeaker systems shall only be operated between 9 am and 10 pm. Activities that generate noise discernible beyond the property boundaries shall also be limited to these hours.
12. **Electric Vehicle Charging Station (EVCS).** Permitted as an accessory use to any principal use in all residential zoning districts. No zoning permit is required, except when installing EVCS in conjunction with nonresidential uses in a residential district. Refer to [Section 11 Parking Facilities for EVCS](#) standards.<sup>14</sup>

## SECTION 4.6 PARKING OF CERTAIN VEHICLES

- A. Abandoned Vehicles.** Parking or storage of any motor vehicle, trailer, recreation vehicle, boat or boat trailer in a wrecked, inoperable, dismantled or abandoned condition or without current, legally displayed license plates is prohibited in any residential district unless it is parked or stored completely within an enclosed building.
- B. Recreational Vehicles.** On lots less than one (1) acre, one (1) recreational vehicle may be parked or stored outside in conformance with these regulations. On lots one (1) acre or more, two (2) recreational vehicles may be parked or stored outside in conformance with these regulations.
- C. Parking or Storage of Recreational Vehicles.** The parking or storing of recreational vehicles, boats, or trailers not specifically prohibited by the preceding paragraph (A), shall be permitted only in the side or rear yard of a lot in any residential district with a principal residential dwelling unit. Minimum side and rear yard setback regulations for detached accessory buildings apply. Except that from April 1st through October 1st one (1) recreational vehicle may be temporarily parked in the front driveway. The vehicle must be parked on a hard surface.
- D. Living Quarters Prohibition.** At no time shall a recreational vehicle or trailer be used as living quarters.
- E. Tractors, Trailers and Equipment.** Parking or storing semi-tractors or tractor-trailers, excavating or other construction equipment, tow truck, stake body or dump truck in any residential district is prohibited.
- F. Trailer Length.** Parking or storing any trailer greater than twenty (20) feet in length in any residential district is prohibited.
- G. Parking of Commercial Vehicles.** The parking of one (1) commercial vehicle in connection with the residential use of the property within any residential district shall be permitted, provided said vehicle does not exceed twenty (20) feet in length measured bumper to bumper and eight (8) feet in height including cap, tool boxes and other accessories and is currently used by the occupant of the dwelling as transportation to or from work.

<sup>14</sup> Section added Feb 7, 2025

## SECTION 4.7 REVIEW REQUIREMENTS AND PROCESS

- A. Authority to File Applications.** The person having legal authority to take action in accordance with the approval sought shall file an application for review. The person having legal authority shall be the property owner of record or the duly authorized agent of the property owner of record.
- B. Zoning Certificate Forms.** The Board of Trustees shall adopt submittal requirements in the form of zoning certificate applications at a regular board meeting after hearing the Zoning Administrator's recommendations.
- C. Pre-application Meeting.** A pre-application meeting is required for projects with three (3) or more dwelling units or projects that are nonresidential in nature prior to filing a formal application.
- D. Complete Application.** The applicant shall submit a complete application to the Howland Township Zoning Administrator prior to submitting for a Trumbull County Building Permit.
1. Zoning Certification Application and all applicable forms available from the Township offices;
  2. All such forms, maps, plans, and information as may be prescribed for that purpose by the Howland Township Zoning Department to assure the fullest practicable presentation of the facts for the permanent record.
  3. If an application is determined to be incomplete, the Zoning Administrator shall provide notice to the applicant along with an explanation of the application's deficiencies. No further processing of an incomplete application shall occur until the deficiencies are corrected.
  4. If the application is determined to be complete, the Zoning Administrator shall review the application for conformance with the provisions of this Zoning Resolution.
  5. If any false or misleading information is submitted or supplied by an applicant on an application, the application shall be denied.
- E. Application Determination**
1. The Zoning Administrator shall, within thirty (30) days after receiving a fully completed application, take action to approve, disapprove, or approve with modifications or conditions, the application and plan.
  2. The applicant shall be notified of the decision of the Zoning Administrator along with any reason for disapproval or modification.
  3. Upon approval, or approval with modification or conditions and the submittal of revised plan reflecting such modifications, a zoning certificate shall be issued by the Zoning Administrator. This certificate is binding upon the applicant, and work performed shall conform with and not deviate from the approved plan.

# SECTION 5 BUSINESS ZONING DISTRICTS <sup>15</sup><sub>16</sub>

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## SECTION 5.1 PURPOSE

To provide for the rational development and redevelopment of specific areas within Howland, the Township has devised additional zoning classifications intended to mitigate the effect of nonresidential development on the existing and planned residential and low-intensity nonresidential uses within and adjacent to these areas. These districts will protect and enhance the value of properties, preserve and improve vehicular and pedestrian traffic, and provide an attractive, well-planned transition from one land use classification to another.

## SECTION 5.2 APPLICABILITY

- A. Applicability:** The provisions of Section 5 shall be applicable to properties in all Business Districts under the following circumstances.
1. New uses of lots and buildings shall comply with the list of permitted uses applicable to the Business District and with any specific standards applicable to the new use.
  2. New building construction or building floor area expansion
  3. Exterior modifications to an existing building
  4. New parking lot or expansion of existing
  5. New or expanded outdoor storage or display area
  6. New or expanded drive-through facility
  7. New sign, fence, wall, enclosure
  8. Resurfacing of any part of the exterior of a structure including but not limited to the roof or walls of a building or parts of a fence, wall, enclosure, or sign
  9. Repainting or refinishing any part of the exterior of a structure where new materials or colors are used
  10. Installation of new landscaping, other than replacement of previously approved landscaping
  11. A change of use authorized on the basis of a rezoning of the property to a new zoning district.

<sup>15</sup> Added July 21, 2017

<sup>16</sup> Updated Feb 7, 2025

- B. **Compliance** with business uses and standards shall be limited to those items being changed.
- C. **Extent of Applicability:** The provisions of [Section 5.5 Procedures](#) and [Section 5.6 Application Contents](#) shall be applicable to all circumstances listed in Section 5.2(A) above only to the extent necessary to document compliance.
- D. **Exemptions:** The provisions of [Section 5.3 Permitted Uses Summary and Table](#) and [Section 5.4 Business District Development Standards](#) shall not be applicable under the following circumstances. Property owners are advised to contact the Zoning Administrator to ensure compliance with these regulations. Application requirements and fees will be waived.
  - 1. Maintenance of the exterior of an existing building or accessory structure such as re-painting, re-roofing or re-siding where similar materials and colors are used or materials and colors are used that comply with this Resolution
  - 2. Interior remodeling

## SECTION 5.3 PERMITTED USES SUMMARY AND TABLE

- A. **Permitted Use Table Summary.** [Table 5.3 Permitted Use](#) sets forth the uses allowed within each zoning district.
  - 1. Permitted Uses
    - a A “P” in a cell indicates that a use is allowed by-right in the respective zoning district. Permitted uses are subject to all other applicable regulations of this resolution.
    - b Permitted uses are approved administratively by the Zoning Administrator through the zoning certificate procedure.
  - 2. Conditional Uses
    - a A “C” in a cell indicates that a use may be permitted if approved through the conditional use process. Conditional uses may be subject to use-specific standards as identified in the second column of [Table 5.3 Permitted Use](#). Conditional uses are subject to all other applicable regulations of this resolution.
    - b The existence of additional standards in this resolution shall not be implied to be the only standards the use is required to meet
  - 3. Permitted Uses with Standards
    - a A “PS” in a cell indicates that a use category is allowed by right in the respective zoning district if it meets the additional standards set forth in the referenced sections. Permitted uses with standards are subject to all other applicable regulations of this resolution.
    - b Uses permitted with standards under this category are approved administratively by the Zoning Administrator through the zoning certificate procedure.
  - 4. Prohibited Uses. A shaded cell indicates that a use is prohibited in the respective zoning district
  - 5. Numerical References. The numbers in the “Specific Use Standards” column refer to additional standards and requirements that apply to the listed use.
  - 6. Unlisted Uses. If an application is submitted for a use that the Zoning Administrator determines is not defined or established in [Table 5.3 Permitted Uses](#), then it is prohibited. The applicant may choose to take one of the following actions.
    - a The applicant may appeal the determination of the Zoning Administrator to the Board of Zoning Appeals pursuant to [Section 20.2](#) of this resolution.

- b The applicant may submit an application for a zoning text amendment to include the proposed use and applicable standards pursuant to [Section 20.4](#) of this resolution.
- c The applicant may present their case to the Zoning Commission to request that the Township initiate a text amendment to address the proposed use and applicable standards.

**B. Permitted Use Table.** Uses that are permitted in the CRD Business Districts are set forth in Table 5.3 Permitted Use. <sup>17</sup>

Table 5.3 Permitted Use P= Permitted PS = Permitted with Standards ..... Not Permitted C= Conditional	Specific Use Standards	Business Zoning Districts					
		CRD OI	CRD-1	CRD-2	HC	C	I
Accessory Uses	<a href="#">Section 5.4(D)(1)</a>	PS	PS	PS	PS	PS	P
Adult Entertainment (sexually oriented)	<a href="#">Section 17</a> <a href="#">Section 20.2</a>						C
Agricultural Processing (excluding slaughter)							P
Amusement Park (outdoor)							P
Art Studio and Workshop	<a href="#">Section 5.4(D)(2)</a>	PS	PS	P	P	P	P
Auditorium and Performing Arts	<a href="#">Section 5.4(D)(12)</a>		PS	PS	PS	P	P
Automotive Repair - Major							P
Automotive Repair and/or Service - Minor	<a href="#">Section 5.4(D)(5)</a>				PS	P	P
Automotive, Truck, and Tractor Sales or Rental					PS	P	P
Automotive, Wrecking, Salvage, or Junk Facilities	<a href="#">Section 5.4(D)(6)</a> <a href="#">Section 20.2</a>						C
Banking and Financial Institution w/drive thru	<a href="#">Section 5.4(D)(7)</a>	PS	PS	PS	PS	P	P
Banquet Facility	<a href="#">Section 5.4(D)(12)</a>		PS	PS	PS	P	P
Bars and Taverns						P	P
Boarding Kennels or Day Care Facilities for Companion Animals	<a href="#">Section 5.4(D)(3)</a> <a href="#">Section 20.2</a>			C	C	P	P
Body Art				P	P	P	P
Brew Pub	<a href="#">Section 5.4(D)(10)</a>		PS	PS	PS	P	P
Cinema Or Motion Picture Theater (indoor)	<a href="#">Section 5.4(D)(12)</a>		PS	PS	PS	PS	P
Composting Facility							P
Construction Equipment Sales						P	P
Contractor or Construction Sales	<a href="#">Section 5.4(D)(11)</a>			PS	PS	P	P
Crematory (accessory to funeral or veterinary)	<a href="#">Section 20.2</a>			C	C	P	P
Day Care Center	<a href="#">Section 5.4(D)(4)</a>	PS	PS	PS	PS	PS	PS

<sup>17</sup> Updated Feb 7, 2025

Table 5.3 Permitted Use P= Permitted PS = Permitted with Standards ..... Not Permitted C= Conditional	Specific Use Standards	Business Zoning Districts					
		CRD OI	CRD-1	CRD-2	HC	C	I
Discount Retail					P	P	P
Drive Through Beverage	<a href="#">Section 5.4(D)(7)</a>				PS	P	P
Drive Through Facilities other than Accessory to Bank				PS	PS	P	P
Dry Cleaning and Laundromat			P	P	P	P	P
Dropbox/Donation Containers	<a href="#">Section 5.4(D)(17)</a>					PS	PS
Educational Facilities	<a href="#">Section 5.4(D)(12)</a>	PS	PS	PS	PS	P	P
Federal, State, or Local Government		P	P	P	P	P	P
Fueling Station, other than electric charging					P	P	P
Fueling Station, electric charging	<a href="#">Section 11.4(F)</a> <a href="#">Section 5.4(D)(8)</a>	PS	PS	PS	PS	PS	PS
Funeral Service			P	P	P	P	P
Halls for Civic Clubs and Membership Organizations (i.e., Elks, VFW, private clubs)			P	P	P	P	P
Heavy Manufacturing and Assembly							P
Hospital			P	P	P	P	P
Inn, Lodging and Tourist Accommodations				P	P	P	P
Laboratory and Research	<a href="#">Section 20.2</a>			C	C	P	P
Library, Museum, Art Gallery		P	P	P	P	P	P
Light Manufacturing and Assembly	<a href="#">Section 20.2</a>					C	P
Micro-brewery, Micro-distillery, Winery	<a href="#">Section 5.4(D)(10)</a>			PS	PS	P	P
Mineral Extraction, Except for Oil and Gas	<a href="#">Section 18</a> <a href="#">Section 20.2</a>	C	C	C	C	C	C
Nursery					P	P	P
Nursing Home, Hospice, Home for Aging		P	P	P	P	P	P
Office, Business, and Professional		P	P	P	P	P	P
Personal Services (salons, barber, alterations, fitness and dance studio)		P	P	P	P	P	P
Place of Worship	<a href="#">Section 5.4(D)(12)</a>	PS	PS	PS	PS	PS	PS
Processing of Animals, Slaughter, Distilling of Fat or Bones, or Mfg of Gelatin	<a href="#">Section 20.2</a>						C

<b>Table 5.3 Permitted Use</b> P= Permitted PS = Permitted with Standards ..... Not Permitted C= Conditional	<b>Specific Use Standards</b>	<b>Business Zoning Districts</b>					
		<b>CRD OI</b>	<b>CRD-1</b>	<b>CRD-2</b>	<b>HC</b>	<b>C</b>	<b>I</b>
Processing of Fossil Fuels including Bulk Petroleum, and Cracking Plants	<a href="#">Section 20.2</a>						C
Recreation Facility, Type A (passive outdoor uses)	<a href="#">Section 5.4 (D)(12)</a>	PS	PS	PS	PS	P	P
Recreation Facility, Type B (active outdoor uses)			PS	PS	PS	P	P
Recreation Facility, Type C (indoor sports)			PS	PS	PS	P	P
Restaurant	<a href="#">Section 5.4(D)(10)</a>		PS	PS	PS	P	P
Retail Business			P	P	P	P	P
Service Commercial		P	P	P	P	P	P
Similar Use	<a href="#">Section 5.4(D)(13)</a>	PS	PS	PS	PS	PS	PS
Solar Energy Systems (as an accessory use)	<a href="#">Section 13</a>	PS	PS	PS	PS	PS	P
Solar Energy System (as principal use)	<a href="#">Section 20.2</a>						C
Solid Waste Disposal Facility (including Construction and Demolition Debris, Incinerator)	<a href="#">Section 20.2</a>						C
Stadium, arena, amphitheater	<a href="#">Section 5.4(D)(12)</a>				PS	PS	P
Storage and Distribution (including Warehousing)						P	P
Storage Facility (including mini-storage)	<a href="#">Section 5.4(D)(14)</a>				PS	P	P
Telecommunication Tower	<a href="#">Section 19</a>	P	P	P	P	P	P
Temporary Uses	<a href="#">Section 5.4(E)</a>	PS	PS	PS	PS	PS	PS
Vehicle Wash	<a href="#">Section 5.4(D)(15)</a>			PS	PS	P	P
Vehicle Wash, Industrial							P
Veterinary Facilities	<a href="#">Section 5.4(D)(16)</a>		PS	PS	PS	P	P
Waste Incineration	<a href="#">Section 20.2</a>						C
Wholesale Commercial						P	P
Zoological Parks	<a href="#">Section 20.2</a>						C

## SECTION 5.4 BUSINESS DISTRICT DEVELOPMENT STANDARDS

**A. Dimensional Development Standards.** The standards in this Section apply to all uses and structures in the Business Zoning Districts.

Table 5.4 Site Development Standards	Business Zoning Districts					
	CRD-OI	CRD-1	CRD-2	HC <sup>18</sup>	C	I
<b>Density Standards</b>						
Maximum Building Coverage	25% of lot area excluding ROW		none		none	
Maximum Impervious Coverage	75%				none	
Minimum/Maximum Building Size	1,200 sf min/10,000 sf max		1,200 sf min		1,000 sf min	
<b>Building Setbacks</b>						
Front Yard Setback	40 feet <sup>19</sup>					80 feet
Side Yard Setback	20 feet				10 feet	
Rear Yard Setback	35 feet				20 feet	10 feet
<b>Parking Area Setbacks</b>						
Front Setback	30 feet					10 feet
Side Setback				10 feet		
Rear Setback	20 feet					10 feet
Maximum Building Height	35 feet		45 feet		45 feet when adjacent to R-1	
<b>Green Space Minimum</b>						
Minimum green space	25% of lot area excluding ROW			15% of lot area excluding ROW		none
Minimum front yard green space	The first 30 feet from the front property line shall remain green			The first 10 feet from the property line shall remain green		
	The ROW area between the front property line and the road pavement shall be reserved for public sidewalks or green space but will not be included in the green space calculation.					
<b>Lot Dimensions</b>						
Minimum Lot Area	0.5 acres or 21,780 square feet					none
Minimum Lot Width	100 feet					none
Minimum Lot Depth	200 feet					none
Minimum Corner Lot	200 feet in lot width and 200 feet in lot depth					none
<b>Lot Consolidation</b>	Where two or more lots are to be developed in a single development plan, they shall be combined into a single lot and recorded.					

<sup>18</sup> District standards added Feb 7, 2025

<sup>19</sup> Reduced from 80' to 40' in Commercial District Feb 7, 2025

**B. Site Development Standards.**

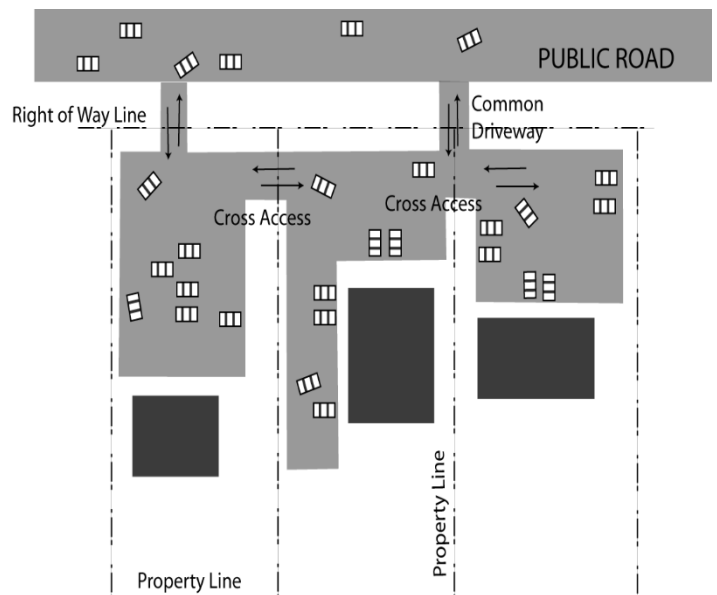
1. Access Management

- a. Cross access between parking areas on adjacent lots is recommended to reduce the number of vehicular accesses to East Market Street, Niles-Cortland Road, and North River Road. The cross-access should be at least twenty-four (24) feet wide, and the centerline of the access road located at a point sixty (60) feet from the right-of-way line. Reference Figure 5.4(a) Cross Access.
- b. Common Driveways. If cross access is not provided between parking areas, adjacent landowners may be required to establish common driveways. Common driveways shall be established subject to easement agreements approved by the Township.

2. Curb Cut Standards

- a. Distance between Curb Cuts. A minimum distance of 200 feet, measured from the centerline of the cut, shall be maintained between nonresidential use curb cuts.
- b. Distance between Curb Cuts and Street Intersections. The minimum distance from a new curb cut to an intersection shall be no less than 200 feet.
- c. Number of Curb Cuts per Development Project. No lot or group of lots that are part of a single development project shall be permitted to have more than one curb cut access to East Market Street, Niles-Cortland Road, or North River Road.
- d. Maximum Width of Curb Cuts. Curb cuts will be limited to a maximum total pavement width of 38 feet in CRD-1 and CRD-OI Districts, and 48 feet in CRD-2 and HC Districts.
- e. Exceptions. Where compliance with the preceding subsections 2(a), 2(b) or 2(c) is impractical due to the dimensions or conditions of existing lots or lot frontages, road conditions, other dimensional, safety, or traffic function conditions, the Zoning Administrator may require and/or approve alternative curb cut configurations. The Township Engineer shall determine acceptable alternative configurations.

**Figure 5.4(a) Cross Access**



3. Siting of Stormwater Management Facilities<sup>20</sup>

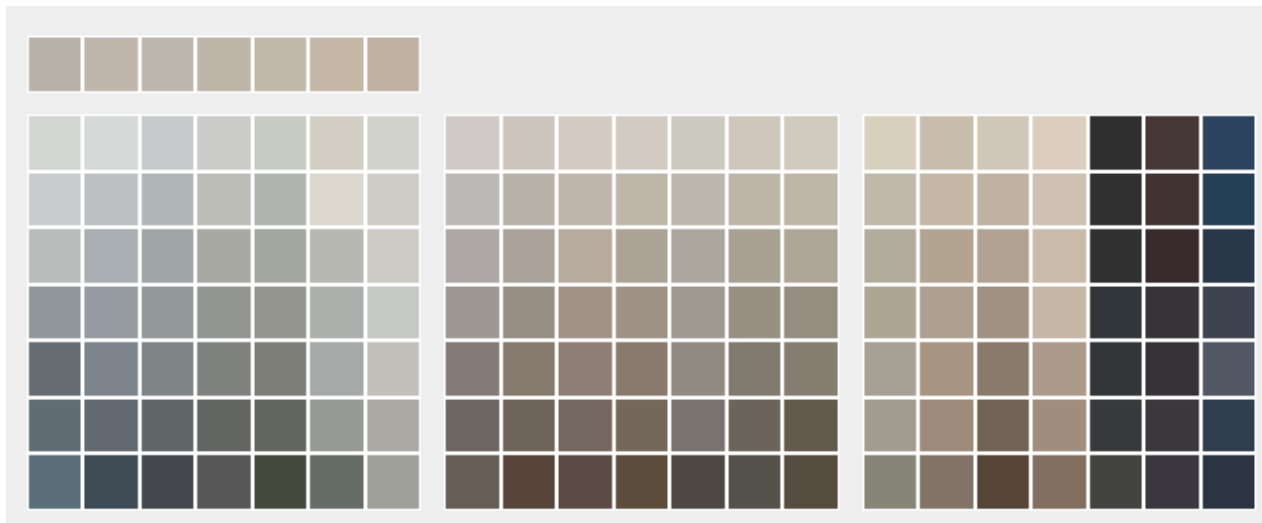
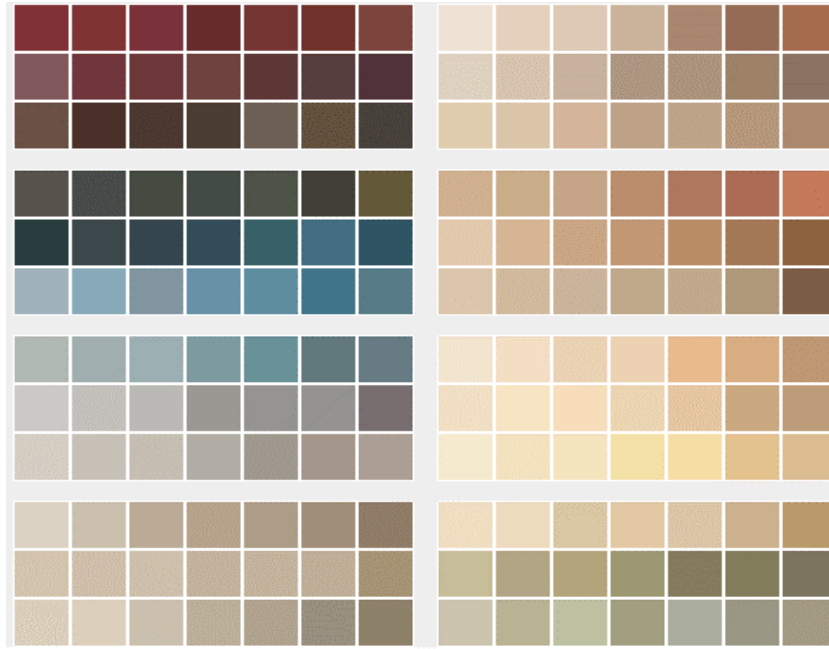
<sup>20</sup> Section added Feb 7, 2025

- a. Unless the stormwater management facilities are vegetated (not hardscape), they cannot count toward minimum greenspace requirements.
  - b. In the CRD Zoning Districts, stormwater management facilities shall not be located in the front yard unless underground.
4. Consolidation of Lots Required. Where two or more lots are proposed to be developed in a single development plan, the lots shall be consolidated into a single lot. The consolidated lot shall be recorded.
  5. Parking Facilities are applicable in all business zoning districts. The standards are found in [Section 11 Parking Facilities](#).
  6. Outdoor Lighting Standards are applicable in all Business Districts unless otherwise stated. Please refer to [Section 15, Outdoor Lighting](#), for standards.
  7. Location and Screening of Waste Receptacles in all Business Districts  
Waste receptacle standards are applicable in all Business Districts unless otherwise specified.
    - a. Waste receptacles shall not be located between the main building and the public right-of-way.
    - b. Except in the Industrial and Manufacturing “I” Zoning District, waste receptacles shall be screened on all sides by a six-foot-high fence, wall, and/or gate constructed to be consistent with the design of the primary building.
    - c. Where required, waste receptacle enclosure gates or other openings to the screened waste receptacle area shall be oriented so they are not visible from the public right-of-way unless it is a corner lot and all orientation and screening options have been examined and determined to be impractical by the Zoning Administrator. It is a preference that the opening faces the roadway with less traffic.
    - d. Waste receptacle enclosures, where required, shall not exceed six (6) feet in height.
    - e. Where required, waste receptacle area gates and lids shall be kept securely closed to prevent wind-blown waste from leaving the receptacle and enclosure area.
  8. Signs shall comply with the requirements of [Section 10 Signs](#) of this Resolution

**C. Building Design Standards**

1. Building Design Standards are applicable in the CRD and HC Zoning Districts
  - a. Building Finish and Colors.
    - i. All buildings and structures shall have an equal level of finish on all sides and shall utilize no more than two primary materials with one or two accent materials. The quality of materials and design used on the front façade of the building should not substantially diminish at the rear or sides of the building, except where a wall adjacent to another structure would not be visible.

Figure 5.4(b) Sherwin Williams Timeless and Neutral Collections



- ii. Building colors shall be muted subtle tones. The use of high-intensity colors, metallic colors, or fluorescent colors is prohibited. Sherwin Williams Timeless and Sherwin Williams Neutral Paint Color Palettes, or colors substantially similar, are the preferred primary exterior colors as shown in Figure 5.4(b).
- iii. All structures shall use a single, coordinated color scheme. The scheme shall have one predominant color and may use additional colors to accent, demark, or otherwise provide interest or to achieve a more compatible scale for the individual structure.
- iv. The color, surface finish and texture of primary building materials shall have the appearance of split face block, brick, stone, E.I.F.S (Exterior Insulation and Finishing System, i.e, dryvit, synthetic stucco) or wood, or wood composite. The surface finish and texture of building materials shall not have the appearance of an exposed concrete block. Architectural metal may be used as

accent material but must comply with the preferred color palette. Accent materials and colors shall not exceed 15% of the exterior surface of a building.

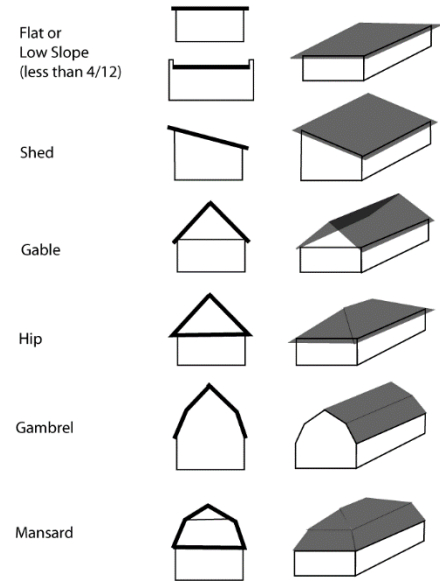
- v. Metal roofs are permitted provided they conform to building color requirements. Standing seam and metal roof shingles are the preferred form.

**Figure 5.4(c) Roof Shapes**

b. Roof Shapes

- i. Hip and gable roofs are the preferred commercial styles. See Figure 5.4(c) Roof Shapes.
- ii. A roof having a pitch of less than 4/12 shall be considered a flat or low slope roof. Where a flat roof is constructed, it shall be enclosed on all sides by a parapet to a height necessary to conceal roof-mounted equipment.
- iii. Mansard-type parapets shall be permitted provided they enclose the roof on all sides.

**ROOF TYPES**



c. Major Building Entries. Major building entries should be demarked using a minimum number of architectural design features. At least two of the following features shall be used to mark the building entrance.

- i. Canopies or porticos above the entrance;
- ii. Roof overhangs above the entrance;
- iii. Entry recesses or projections;
- iv. Raised corniced parapets above the entrance;
- v. Gabled roof form or arches above the entrance;
- vi. Architectural details like tile work and moldings that are integrated into the building structure and design and are above or directly adjacent to the entrance; or,
- vii. Integral planters or wing walls that incorporate landscaping areas or seating areas.

d. Building Wall Standards. Building façades and walls shall comply with the following standards.

Figure 5.4(d) Façade Offset



- i. Façade Offset Required (Figure 5.4(d)).
  - (a) Building façades that exceed eighty (80') in length shall incorporate wall offsets in the form of projections and/or recesses in the façade plane a minimum of every thirty-five (35) feet of façade frontage.
  - (b) Wall offsets shall have a minimum depth of two feet (2') and a minimum width of twenty (20) feet.
  - (c) The following options may be considered in place of façade offsets.
    - (i) Façade color changes that follow offset dimensional requirements and
    - (ii) Pilasters that are a minimum of one foot in depth, a minimum of one foot in width, and a minimum height equal to eighty (80) percent of the facade's height; and/or
    - (iii) Roofline changes when coupled with correspondingly aligned façade material changes.
- ii. Side building façades shall incorporate a minimum of fifteen (15) percent glazing, including windows and glass-paneled doors, or similar.
- iii. Blank building walls are prohibited unless.
  - (a) the wall is not visible from a public roadway; or,
  - (b) the wall is completely hidden due to topography or preserved natural features, such as a steep slope.
  - (c) Multi-sided architecture is required. All sides of a building visible from any public street shall incorporate architectural detailing on all walls consistent with the façade(s).

**D. Use-Specific Standards in the Business Districts.**

- 1. Accessory Use and Structures. Standards for accessory uses not addressed elsewhere in this section shall follow these standards.
  - a. The accessory use shall be those customarily incidental and accessory to any of the permitted principal uses in the district in which it is located.
  - b. The accessory use shall take place on the same lot as the principal use, is subordinate to the principal use of the property and serve a necessary function for or contribute to the comfort, safety, or convenience of occupants of the principal use.
  - c. Accessory structures are subject to the development standards of the district in which it is located.
- 2. Art Studio. All work shall be conducted indoors, and raw materials and finished products shall not be stored outdoors.
- 3. Boarding Kennels or Day Care Facilities for Companion Animals as a Conditional Use.
  - a. Outdoor activity time shall be limited to 8 am to 8 pm.

- b. Minimum distance from exterior play yard to nearest residential zoning district shall be 500 feet.
  - c. The outside play area shall be fully screened from public view, and added measures may be required to attenuate noise from the site, which may include interior soundproofing as well as exterior modifications.
  - d. Manure piles shall be disposed of daily in a sanitary, non-odorous condition.
  - e. Fence height shall not exceed what is permitted for the district.
  - f. The BZA may add other specific conditions to mitigate impacts directly related to exterior play yards.
4. Child Day Care Center, Type A Day Care Home, Adult Day Care Center
- a. Parking, drop-off, and pick-up spaces shall be provided on-site to meet all user needs. Spaces and drives shall be configured to prevent impact on public rights of way.
  - b. Applicant must provide evidence of a state license or of a submitted application for a license. A state license must be obtained before the zoning permit will become effective.
5. Commercial Garage as in Vehicle Repair, Service, Sales, or Rentals
- a. Garage doors visible from the public street shall have full (top to bottom, side to side) glazed garage doors with overhead awning treatment.
  - b. There shall be no advertisement affixed, either permanently or temporarily, onto the garage doors.
  - c. Buildings with more than two service bays shall incorporate building façade offsets every two service bays to break up the façade.
  - d. All vehicle repair and service shall occur indoors.
6. Conditional Use Standards for Industrial and Manufacturing Uses
- a. No conditionally permitted structure or land use shall be located closer than one thousand (1000) feet to any church or other place of worship, residential area, public park, or any other conditionally permitted structure or use.
  - b. Minimum lot width. Eighty (80) feet at the building line.
  - c. Minimum side yard. Twenty (20) feet.
  - d. Minimum rear yard. Twenty (20) feet.
  - e. Other health and safety requirements as determined by the Board of Zoning Appeals.
7. Drive Thru or Drive Up Facility.
- a. Drive-up facilities that utilize microphones or other audible signals shall be designed to minimize sound impacts upon abutting uses. Hours of operation shall be as approved with the site plan.
  - b. Lanes required for vehicle access to and waiting for use of a drive-thru or drive-up facility shall be designed to have sufficient length to accommodate the peak number of vehicles projected to use the facility at any one time, to provide escape/abort lanes for vehicles desiring to leave the stacking lanes or to avoid disabled vehicles, and to minimize impacts on the use of other required parking or drives or the use of abutting roads and hazards to pedestrians.
  - c. Conditions may be established restricting the hours of operation to reduce inappropriate impacts on abutting uses and road traffic and to ensure compatibility with normal vehicular activity in the district.

- d. The applicant shall design the site plan or otherwise provide assurances to reduce the impacts of lighting, litter, noise, and exhaust resulting from the facility, especially impacts on nearby residential districts.
  - e. Drive-up facilities shall be located on that part of a site that is most distant from or most screened from the boundaries of abutting residential districts. Where site conditions necessitate locating a drive-through facility near to the residential district, the area between the uses shall be screened as directed by the Zoning Administrator.
  - f. Drive up facilities, their stacking areas, and routes of access shall be located to not interfere with or cause interference with vehicles or pedestrian movement on the public road or within the site. Stacking areas for drive-through facilities shall not be the sole or primary site egress route. Stacking areas shall not utilize parking or aisles required for access to parking.
8. Electric Vehicle Charging Stations
- Permitted as an accessory use in all business districts. Permitted as a principal use in any business district within 0.25 miles of the State Route 82 Interchange. Permitted as a principal use in the Industrial "I" zoning district regardless of proximity to State Route 82. A zoning permit is required. [See Section 11.4](#) for standards.
9. Fueling Station as a Conditional Use.
- a. If an existing or new facility is proposed to provide vehicle fuels other than gasoline or diesel, then a complete site plan and information relating to the nature of the fueling operation, on-site activities, and safety features and procedures shall be submitted as required by the Zoning Administrator.
  - b. Site - minimum lot size one (1) acre.
  - c. The lot shall not abut a residential zoning district.
  - d. Fueling equipment, compressed air connections, and other equipment shall be setback a minimum of 30 feet from any right-of-way line. Air compressor pumps (e.g. for tire inflation) and other outdoor equipment shall be identified on the site plan and shall be located and screened in a manner which minimizes noise impacts on abutting properties.
  - e. Parking of employee vehicles and vehicles used in the operation of the business shall only be permitted in the locations approved on the site plan. Parking and storage of vehicles not related to the principal use of the site, or to an approved accessory use, shall not be permitted.
  - f. Vehicle sales, service, rental, or leasing shall not be permitted on the site unless specifically approved. No vehicle repair work shall be conducted at the facility.
  - g. Retail sales of products shall be permitted only within an enclosed structure which shall comply with all provisions of the district, including requirements for parking.
  - h. Fueling stations shall provide no less than two (2) waiting spaces per accessible side of a fuel pump island.
  - i. Outdoor display, storage, or sale of goods shall only be permitted on the site as specifically approved on the site plan.
10. Outdoor Dining
- a. All outdoor dining areas shall comply with the following standards.
    - i. In no circumstance shall outdoor dining exceed seating for one hundred (100) persons without a conditional use certificate.

- ii. Outdoor dining shall be established on the same site, in conjunction with, and under the same management and exclusive control as a permitted restaurant use.
  - iii. Outdoor dining shall not be located on any part of the lot required for drives, parking, pedestrian walkways, or other site features required for the use(s) on the lot. The area used for outdoor dining shall comply with all zoning district yard and setback requirements applicable to a building.
  - iv. The arrangement of entrances, exits, tables and other features of the outdoor dining area shall be subject to approval of the Howland Fire and Police Departments.
  - v. Parking shall be provided based on the area utilized for outdoor dining according to the parking standards for a restaurant.
  - vi. The floor area utilized for outdoor dining shall not exceed 50% of the indoor floor area utilized for dining.
  - vii. All permanent and temporary furniture, fixtures, structures, and other outdoor dining area features shall be maintained in good repair during all seasons of the year.
  - viii. Signs on tents, awnings, fences, umbrellas, or other structures shall comply with the sign regulations of this Resolution.
  - ix. Outdoor dining shall only be permitted between 7 a.m. and 11 p.m.
  - x. Outdoor dining area adjacent to a residential zoning district shall be screened with a buffer designed in accordance with [Section 12.5 Landscaping and Buffers](#).
- b. Outdoor dining located less than one hundred (100) feet from a residential zoning district, shall comply with the following additional standards.
- i. Seating in this area shall not exceed twenty (20) persons.
  - ii. No cooking utilities, including outdoor grills, are permitted in this area.
  - iii. Amplified live performance and outdoor sound systems are not permitted in this area.
  - iv. Amplified sounds from inside the restaurant shall not be audible in this area.
  - v. Lighting fixtures shall not exceed ten (10) feet in the outdoor dining area.
- c. A site plan shall be submitted for a zoning permit prior to establishing any outdoor dining. The site plan shall indicate, at a minimum, the proposed locations of seating areas, entries and exits, screening, cooking facilities, shelters and all other permanent or temporary furnishings, fixtures and equipment.
11. Outdoor Storage and Display.
- a. Outdoor storage or display of goods, merchandise, or equipment, including but not limited to goods or equipment for sale, rent, or lease; materials, vehicles and equipment used by the site use, is prohibited in the CRD-1 and CRD-OI Districts.
  - b. Outdoor storage or display of goods, merchandise, or equipment, shall be allowed in the HC and CRD-2, provided that.

- i. Stored goods, merchandise, or equipment shall not exceed six (6) feet in height.
  - ii. Storage and display areas shall be screened from view from public rights-of-way and abutting residential districts.
  - iii. The area(s) of the site on which outdoor storage or display is proposed, and the manner of screening thereof, shall be specifically identified and limited to the locations illustrated and approved in the development plan. No other locations shall be permitted unless the plan is amended and approved.
- 12. Place of Worship; Other Places of Assembly or Recreational Facility
  - a. The following standards shall apply to Place of Worship, Other Place of Assembly and any Recreational Facility.
    - i. Traffic volumes that exceed those typical of other permitted uses in the subject zoning district shall be identified, especially large and peak volumes of vehicles entering or exiting in a short period such as near the beginning or end of assembly events. Measures to mitigate the impacts of such traffic events on abutting and nearby public roads shall be designed, constructed and maintained to mitigate the impacts to a typical level.
    - ii. Activities and uses other than the primary function of worship, assembly, or recreation (i.e., retail, housing, or other) shall be permitted and regulated as otherwise provided in this Resolution.
    - iii. Site features designed to mitigate impacts may include, but are not limited to, proper location of uses, entries, and exits on the site; setbacks exceeding district minimums; screening and buffering with fences, walls, or landscaping; scheduling of events in a manner that mitigates or minimizes nighttime impacts; proper location and construction of on-site traffic management facilities; financial contribution in support of traffic facility improvements in the public right-of-way (i.e., turn lanes and traffic signals); and payment for police hours for traffic control during special events. Mitigation of impacts on abutting properties shall be given special attention where abutting residential districts exist.
  - b. The following standards shall apply to outdoor activity at all Places of Worship, Other Places of Assembly and Recreational Facilities.
    - i. Outdoor recreational facilities for active sports (including but not limited to baseball, football, basketball, swimming, soccer, and skateboarding) shall be setback from residential districts at least 100 feet.
    - ii. Outdoor recreational structures (including but not limited to backstops, fences, temporary or permanent spectator seating, restrooms, and concession stands) shall be setback from residential districts at least 100 feet.
    - iii. Outdoor activities shall be identified and described in the zoning application, including seasonal variations, average and maximum numbers of persons in attendance at assembly events, any outdoor noise, lights, or other exterior impacts which may affect abutting properties. Exterior impacts which exceed those typical of other permitted uses in the subject zoning district shall be identified. Site features shall be designed, constructed and maintained to mitigate the impacts to a typical level.
    - iv. Hours of operation that differ from normal business hours in the subject district shall be identified along with any off-site impacts and measures to mitigate such impacts.

- v. Outdoor loudspeaker systems shall only be operated between 9 am and 10 pm. Activities that generate noise discernible beyond the property boundaries shall also be limited to these hours.

13. Similar Use

- a. An applicant may submit an application for a conditional zoning certificate for a building or use which is not specifically listed as a permitted use or a conditionally permitted use in a district. The Board of Zoning Appeals shall interpret this Resolution to determine if the proposed use is a substantially similar use. The Board of Zoning Appeals shall make a decision after consideration of the proposed use with respect to the following standards and other applicable provisions of this Resolution.
- b. Whether the use has characteristics and impacts consistent with those of one or more of the permitted uses in the district; and the use has characteristics and impacts more consistent with those of the permitted uses of the subject district than with the permitted uses of any other district.
- c. Whether the establishment of the use in the district will significantly alter the nature of the district.
- d. Whether the use will create dangers to health and safety or create offensive noise, vibration, dust, heat, smoke, odor, glare, traffic, or other objectionable impacts or influences to an extent greater than normally resulting from permitted uses listed in the subject district.
- e. Whether the use typically requires site conditions or features, building bulk or mass, parking, anticipated sign needs, or other requirements dissimilar from permitted uses; and whether the typical development of site and buildings for the use is compatible with those required for permitted uses and can be constructed in conformance with the standard regulations for height, lot dimensions, setbacks, etc. of the district.

14. Storage Facility

- a. Indoor storage only.
- b. Storage garage units shall not be visible from the public street.

15. Vehicle Wash

- a. A vehicle wash shall provide reserve space off-street for at least five (5) automobiles per washing lane.
- b. One off-street parking space shall be provided for each two employees plus one space for the owner or manager.
- c. Each lot for an automatic car wash and polishing establishment shall contain a minimum frontage of 125 feet and a depth of 200 feet.
- d. Drainage system shall meet with EPA approval. Said system shall be located one hundred feet from any lot in a residential district.
- e. Retail sales of related commercial products shall be permitted.
- f. Repair work shall not be permitted.
- g. Automobile washing and polishing services shall be performed wholly within a totally enclosed building, except that vehicle finishing may be conducted outside the building.
- h. Washing, polishing, and vacuum facilities, when located adjacent to a residential area, shall be used only from 7.00 a.m. to 10.00 p.m.
- i. The building shall be a minimum of forty (40) feet from the side lot line.

- j. A permanent screening fence or wall not less than six (6) feet in height shall be constructed along any side or rear property line which abuts property zoned for residential use.
  - k. The use shall comply with the standards established in [Section 5.4 \(F\)\(7\)](#) above for Drive Thru or Drive-Up Facilities.
  - l. Facilities adjacent to a residential district will be required to submit a noise reduction plan and may be asked to conduct on-site sound testing measured at the property line closest to the residential district. The acceptable maximum noise level measured at the property line is 65 dB(A) to maintain a moderately quiet residential area during the day. Additional noise-canceling measures may be required if levels beyond 65 dB(A) are detected.
16. Veterinarian
- a. Runways, Exercise Areas. All animal exercise areas shall be conducted solely on the premises. All outside animal runways or kennels shall be enclosed by a six (6) foot fence, maintained in a clean, orderly, and sanitary condition and free from any conditions that would menace the health of the animals enclosed therein, the public, or constitute a nuisance.
  - b. Manure piles shall be disposed of daily in a sanitary, non-odorous condition. Open manure piles shall not be permitted.
  - c. Animals shall only be kept or housed on-site for veterinary care and recovery.
17. Drop/Donation Boxes
- Dropboxes and donation boxes shall be located in the rear yard and blocked from public view or approved as an accessory use as part of an approved project.

**E. Temporary Uses in Business Districts<sup>21</sup>**

- 1. Duration. This section applies to uses having a seasonal or temporary duration in the business districts.
- 2. Permit Required. No temporary use may commence until a Temporary Use Permit has been issued by the Howland Township Zoning Administrator.
- 3. The Zoning Administrator shall make each of the following findings before issuing a zoning certificate for any temporary use.
  - a. The temporary use shall not be detrimental to the public health, safety or welfare, and is compatible with the purpose and intent of this Zoning Resolution and the business zoning district in which it is located.
  - b. The temporary use shall be compatible in intensity, characteristics and appearance with surrounding land uses. Factors such as location, access, traffic generation, noise, light, dust control and hours of operation shall be considered.
  - c. All temporary uses shall be situated on an improved lot with an established commercial use and parking area.
  - d. Adequate access and off-street parking facilities shall be provided which shall not interfere with traffic movement on adjacent streets.
- 4. The Zoning Administrator may impose such conditions on any proposed temporary use and require such guarantees they deem reasonable and necessary to protect the public health, safety, and welfare.

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<sup>21</sup> Section added Feb 7, 2025

5. The following temporary uses may be permitted in all business zoning districts provided such temporary use complies with the regulations of the business zoning district in which it is located and the specific standards found in Section 5.4(E)(6) Specific Standards for Certain Temporary Uses below.
  - a. Farm stands, in accordance with the Ohio Revised Code Section 519.21
  - b. Promotional activities, tent sales, and sidewalk sales that may involve temporary outdoor sales and/or display. The primary product being sold or promoted must be that of the permanent business at which the promotional activity or tent sale is being held.
  - c. Mobile food units
  - d. Construction units or storage trailers
6. Specific Standards for Certain Temporary Uses.
  - a. Farm Stands
    - i. Farm stands are prohibited unless at least 50% of the stand's gross income is derived from produce raised on farms owned or operated by the stand operator in a normal crop year.
    - ii. Farm stand shall not exceed 400 square feet including all displays associated with the stand.
    - iii. All vehicles and trash must be removed from the site daily.
    - iv. Signage is permitted in conformance with the following standards.
      - (a) One sign shall be permitted in accordance with Section 10.4(B)(2) except that a temporary sign may be permitted for no more than 180 consecutive days.
      - (b) Shall not be illuminated
      - (c) Shall be removed at the end of the local growing season
    - v. Farm stand parking. A minimum of 4 parking spaces must be provided.
    - vi. Property owner approval is required.
  - b. Temporary tents for outdoor sales or promotional activities permitted by Section 5.4 (E)(5)(b) of this regulation may be permitted for up to seven (7) days twice in a calendar year.
  - c. Temporary construction units or storage trailers shall be located on the least conspicuous part of the lot and removed within 30 days of the completion or abandonment of construction work.
  - d. Mobile Food Units (MFU)
    - i. General Provisions
      - (a) A Zoning Permit is required annually to operate in the Township.
      - (b) MFU vehicles are permitted in the Manufacturing and Industrial Zoning District (I) only, unless the MFU participates in a public community event or serves an established private business and their employees or clients.
      - (c) The MFU shall be located so as not to interfere with access to another business, or obstruct lawful signage of another business or obstruct emergency access or response.

- (d) MFU vehicle shall be located at least thirty (30) feet from all public rights-of-ways and shall have the written permission of the owner of the real property on which the MFU is located.
  - (e) MFU's shall serve pedestrians only. No drive-through, drive-up or drive-in service.
  - (f) The MFU owner or operator must be present at all times except in the case of an emergency.
  - (g) No overnight parking.
- ii. Operation
- (a) Adequate waste collection shall be provided. Waste shall be removed from the site daily. Waste shall not be disposed of in storm or sanitary sewers, onto streets, sidewalks, green spaces, or parking lots.
  - (b) The sale of goods is limited to food and beverage with limited sales of non-food and beverage merchandise associated with the business.
  - (c) The outside storage of products or inventory is prohibited.
- iii. Design Standards
- (a) No additional signage other than what is permanently on the mobile food unit is permitted
  - (b) The MFU shall be lit in the evening hours. At no time shall the unit use flashing lights or broadcast loud advertisements.
- iv. Property owner approval is required.
- v. A Mobile Food License or equivalent is required by a local health district and must be displayed in a prominent location in the unit.
- vi. Inspection and approval by the Howland Fire Department is required.
- vii. Mobile Food Unit Maintenance –MFUs shall be operated in a safe, sanitary, and non-offensive manner. Complaints of unsafe conditions, excessive waste or noise, or other disruptive conditions will be investigated and may be cause for permit revocation or future permit denial.

## SECTION 5.5 MIXED USE DISTRICT (MXD)<sup>22</sup>

- A. Purpose.** The purpose of the Mixed-Use District (MXD) is to facilitate coordinated development that integrates residential, commercial, office, and civic uses within a compact, walkable environment, while maintaining a suburban form and character. Development within this district shall:
1. Encourage a balanced mix of land uses that support nearby employment centers, retail hubs, and neighborhoods;
  2. Promote walkability and pedestrian connectivity between uses;
  3. Protect and incorporate sensitive ecological resources and natural stormwater systems; and
  4. Create a distinct sense of place through high-quality architecture, landscaping, and public spaces.

**B. Permitted Principal Uses**

The following uses are permitted in a mixed-use development project.

1. Single Family (attached and detached)
2. Multi-family dwellings, including townhouses, apartments, stacked flats, live-work units
3. All permitted uses in the Highway Commercial Zoning District (Section 5.3 Permitted Uses Summary and Table), as part of a mixed-use development project, except that fueling stations other than EVCS, nurseries, storage facilities, and vehicle washes are not permitted.
4. There is an expectation that a balanced approach between residential and nonresidential uses will be proposed in a mixed-use development project. Each project shall include at least two (2) distinct land use categories. At least one (1) land use category shall be residential unless the applicant demonstrates, to the satisfaction of the Zoning Administrator, that the proposed development advances the goals of the MXD through an alternative combination of uses (such as commercial, office, medical, civic, or institutional) and that residential uses will be incorporated within a subsequent phase or in a coordinated adjacent development. The Zoning Administrator shall make a written finding that the overall intent of the Mixed-Use District is substantially met prior to approving any waiver of the residential requirement.

**C. Development Standards Table 5.5(C)**

Standard	Requirement
<b>Minimum Area for a Mixed-Use Development Project</b>	Three (3) acres. Projects between three (3) and six (6) acres may be approved by the Zoning Administrator upon a finding that the proposed development demonstrates a viable mix of uses and meets the design standards of this section. Projects of six (6) acres or more are permitted by-right under the MXD standards.
<b>Minimum Open Space</b>	Fifteen percent (15%) of the development project.
<b>Parking Location</b>	Parking shall be located to the rear or side of buildings; shared parking is encouraged. The Zoning Administrator may approve front parking where an applicant demonstrates that: (a) the proposed use has documented requirements for customer

<sup>22</sup> Section Added June 12, 2026

	visibility and vehicular access; (b) the primary building façade maintains active ground-floor uses and pedestrian-scale design elements along the street frontage; and (c) the overall site design remains consistent with the walkable character and design standards of the MXD.
<b>Access</b>	An interconnected street and pedestrian network is required
<b>Public Improvements</b>	Public roadways shall be designed and constructed in accordance with Trumbull County's Subdivision Regulations.
<b>Minimum Residential Density (Lot Area per Dwelling Unit)</b>	Twelve (12) dwelling units per acre (minimum by-right).
<b>Maximum Residential Density</b>	Sixteen (16) dwelling units per acre by-right; up to twenty-four (24) dwelling units per acre subject to bonus provisions in Section 5.5(F).
<b>Maximum Building Height</b>	Three (3) stories (45 feet); Four (4) stories (55 feet) in a designated core area
<b>Front Setback Range</b>	Ten feet (10') minimum; seventy feet (70') maximum. A front setback of up to seventy feet (70') is permitted where necessary to accommodate one (1) full bay of front parking and associated drive aisle between the building face and the right-of-way. Where a setback exceeding ten feet (10') is utilized, the Zoning Administrator may require enhanced streetscape treatment along the public frontage, which may include additional landscaping, pedestrian pathways, seating areas, or other pedestrian-scale amenities to maintain an active and walkable public realm.
<b>Minimum Side Setback</b>	Ten feet (10')  Zero feet (0') where shared walls are provided. However, keep a ten-foot (10') maintenance easement on one side. See Figure 5.5(a)
<b>Minimum Rear Setback</b>	20 feet

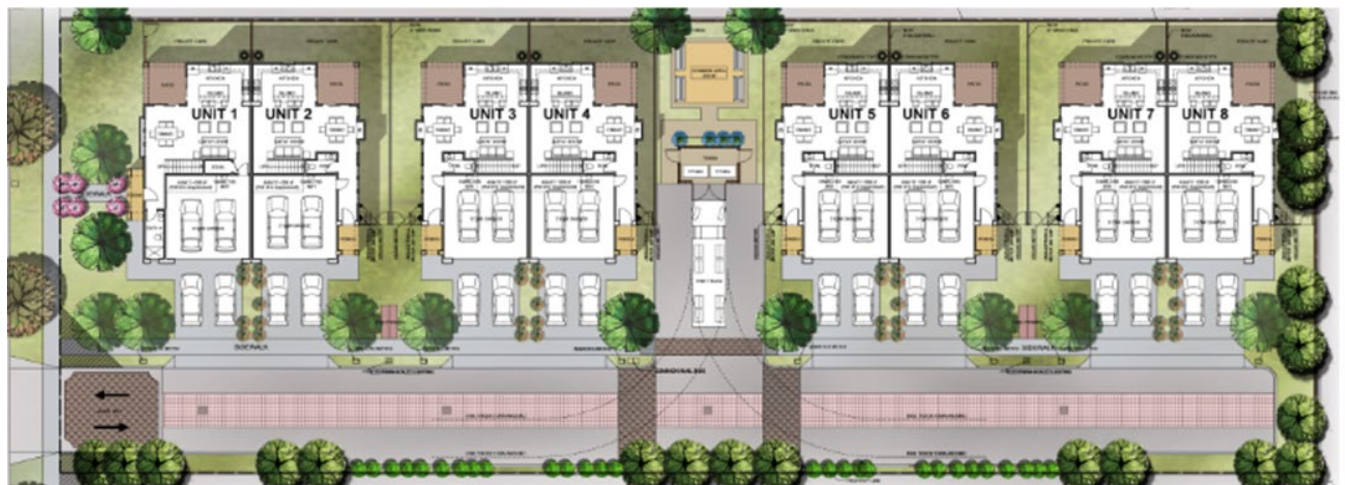


Figure 5.5 (a) Zero Side Lot Line Setback Example

- D. Design Standards.** The applicant(s) shall meet with the Zoning Administrator prior to filing a formal application.
1. Building Orientation and Placement.

- a. Buildings shall front on a public street, private street, or civic space.
  - b. Primary entrances shall be directly accessible from a sidewalk or pedestrian path.
2. Building Design Standards
- a. Section 5.4(C) of the Highway Commercial Zoning District applies to buildings that are primarily non-residential.
  - b. Outdoor dining is encouraged and is therefore exempt from Section 5.4(D)(10).
  - c. Ground-floor nonresidential uses shall provide a minimum of fifty (50) percent transparency along primary street frontages.
  - d. Residential building design standards for a standalone residential structure and not part of a mixed-use structure, shall have:
    - i. Four-sided architecture, meaning all four elevations shall have details including, but not limited to, windows, doors, porches, or other features.
    - ii. Elevations shall be articulated with multiple façade layers to add depth and avoid the appearance of a flat residential façade.
    - iii. Exterior walls of no more than two (2) abutting dwelling units shall be aligned in the same plane.
    - iv. Residential units on the ground floor shall include individual entrances, stoops, or porches.
    - v. Include varied rooflines or step backs above the second story.
    - vi. Garages can be attached or detached, but must be located behind the front setback line of the primary structure.
3. Building Height and Massing
- a. Height Step-Down or Step-Back Measures
    - i. Applicable when any building exceeds two (2) stories or thirty feet (30') and is within fifty feet (50') of a residential use.
    - ii. Buildings shall step down in height as they approach a residential dwelling, as illustrated by Figure 5.5(b).
    - iii. Upper-story step-back may be used.
    - iv. Landscape buffers or the use of open spaces as transitions may be used.

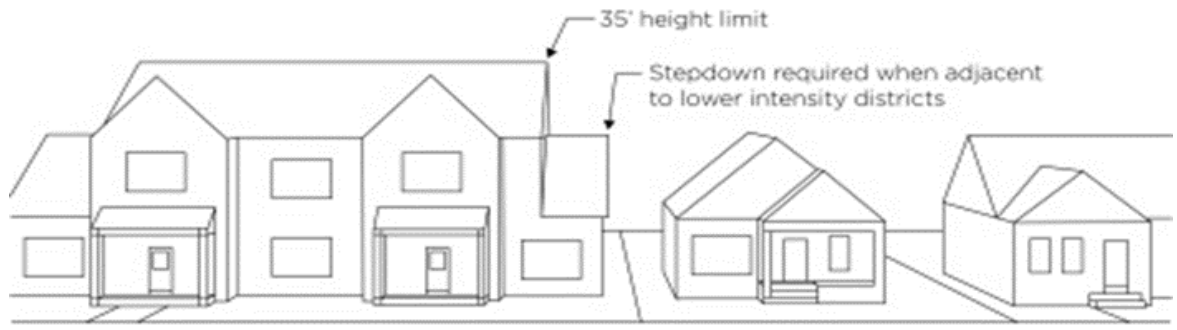


Figure 5.5(b) Step-Down

- 4. Parking, Circulation, Access, and Connectivity.

- a. [Section 11 Parking Facilities](#) standards apply; however, off-street parking shall not be located between the principal building and the primary street, unless otherwise permitted in Table 5.5(c).
  - b. Small parking structures are encouraged.
    - ii. Parking garages shall be located behind buildings that front public streets or placed toward the interior of the development block, so that active commercial, office, or residential uses frame the public realm.
    - iii. Where a parking garage is located within 100 feet of residentially occupied buildings, the structure shall:
      - 1. Maintain a minimum fifty-foot (50') setback from any residential building wall and provide a landscaped buffer.
      - 2. Locate garage openings, ramps, and mechanical ventilation systems away from residential building façades.
    - iv. Along any frontage facing a public street, pedestrian way, or publicly accessible open space, the parking garage shall be wrapped with a minimum thirty-foot (30') deep band of active uses, such as retail, office, or residential units. Where wrapping is not feasible due to site constraints, enhanced architectural screening shall be required
    - v. Any façade of a parking garage visible from a public street shall be designed to appear as part of an occupied building through the use of similar materials, glazing, or architectural details; decorative grillwork or screens that conceal parked vehicles.
    - vi. Parking garage height shall be fifteen feet (15') lower than the height of adjacent mixed-use buildings when located along the same block.
    - vii. The Zoning Administrator may approve minor modifications to garage placement upon a finding that:
      - 1. The public-facing design maintains an active streetscape; and
      - 2. Residential adjacencies remain protected.
5. Access and Connectivity
- a. Sidewalks or shared-use paths shall connect all buildings, parking areas, and public rights-of-way.
  - b. Internal pedestrian circulation and connectivity to adjacent uses are required.
  - c. Driveways and parking lot access should be consolidated where possible to reduce curb cuts along public streets.
6. Landscaping and Buffers.
- a. [Section 12 Landscaping and Buffers](#) applies
  - b. Administrative Determination on Buffering.  
The Zoning Administrator shall determine whether buffering or screening is necessary between land uses based on the following considerations:
    - ii. Type and intensity of adjoining uses. Whether the adjoining uses differ significantly in scale, height, activity level, or hours of operation.
    - iii. Potential impacts. The degree to which noise, lighting, traffic, or visual impacts may affect adjoining properties.

- iv. Existing conditions. The presence of natural vegetation, grade changes, or other existing features that provide adequate separation or screening.
  - v. Design intent. Whether the development design includes transitions or design elements (such as building orientation, landscaping, or fencing) that achieve the same buffering purpose.
  - vi. Surrounding context. The character of adjacent land uses.
7. Lighting: [Section 15 Outdoor Lighting](#) applies.

#### **E. Project Phasing Requirements**

1. General Requirement and Review  
The Zoning Administrator may require a comprehensive phasing plan for any development exceeding ten (10) acres or one hundred (100) dwelling units to ensure orderly and balanced development.
2. Phasing Plan Submission  
A phasing plan, if required, shall detail the anticipated sequence, timing, and scope of development, including:
  - a. The division of the project into distinct development phases.
  - b. The approximate number of dwelling units and the amount of nonresidential floor area to be constructed in each phase.
  - c. The schedule for the delivery of required public amenities, infrastructure, open space, and ecological features.
3. Use Mix Requirements within Each Phase.  
Each development phase shall include at least two (2) distinct land uses. Distinct land uses include residential, recreational or civic spaces, retail, office, medical, and institutional areas.
4. Proportional Delivery of Public Benefits  
The phasing plan must ensure that required public amenities, open space, and density bonus features are delivered in proportion to the development intensity.
5. Distribution of Density Bonuses If density bonuses are used, the phasing plan shall reflect the required distribution strategy.

#### **F. Density Bonus Program Provisions**

1. Purpose. The purpose of this program is to allow additional development intensity in exchange for public benefits that:
  - a. Protect ecological resources and enhance stormwater management.
  - b. Provide diverse and workforce housing options.
  - c. Improve mobility options.
  - d. Deliver community amenities and sustainable design.
2. Base Standards
  - a. Base Residential Density Range: Twelve (12) to sixteen (16) dwelling units per acre by-right. The minimum base density is twelve (12) dwelling units per acre. The maximum by-right density is sixteen (16) dwelling units per acre. No participation in the Density Bonus Program is required to achieve any density within this range, provided the project meets the standards of this section.

- b. Maximum Density with Bonuses: Twenty-four (24) dwelling units per acre  
Maximum Density with Bonuses: Twenty-four (24) dwelling units per acre.  
Density above sixteen (16) dwelling units per acre and up to twenty-four (24) dwelling units per acre may be achieved through the Density Bonus Program in Section 5.5(F)(3).
- 3. Bonus Point System.
  - a. Developments may earn points by providing amenities or design features listed in Bonus Table 5.5(F) on the following page.
  - b. Conversion Rate: Every Ten (10) points = One (1) additional dwelling unit per acre.
- 4. Bonus Table 5.5(F)

Category	Eligible Improvements	Points
<b>Environmental / Stormwater</b>	Permanently preserve ≥20% of the site in ecological conservation (wetlands, riparian, floodplain).	20 pts
	Install natural stormwater infrastructure (bioswales, rain gardens, permeable paving) serving ≥ twenty-five percent (25%) impervious area.	15 pts
	Preservation of tree canopy by ≥ twenty percent (20%).	10 pts
<b>Housing Diversity / Affordability</b>	Provide at least ten percent (10%) of units as workforce housing. See Section 5.5(F)(6).	30 pts
	Provide ≥ three (3) distinct housing types (single-family, townhomes, stacked flats, senior cottages, etc.).	10 pts
	Provide ≥ twenty percent (20%) of units designed for seniors or universal design.	10 pts
<b>Mobility / Connectivity</b>	Build multi-use trails or bike connections linking to a broader trail network, neighborhoods, retail hubs, commercial corridors, or employment anchors.	10 pts
<b>Public Realm / Community Amenities</b>	Dedicate a civic space, plaza, or central park ≥1 acre with public access.	15 pts
	Provide a publicly accessible community facility (daycare, senior center, co-working hub, etc.).	10 pts
	Provide public art or placemaking features valued at a minimum of one-half of one percent (0.5%) of the total project cost.	10 pts

- 5. Bonus Features
  - a. Bonus features shall be shown on approved development plans.
  - b. Bonus points are earned by-right at zoning approval upon the applicant's demonstration that the qualifying improvement is included in the approved development plan. The Zoning Administrator shall have no discretion to deny bonus points to an applicant who has demonstrated compliance with the objective criteria in Bonus Table 5.5(F). Density bonuses may not be conditioned on items not listed in the Bonus Table without formal amendment of this section.
- 6. Workforce Housing Design and Integration Standards
  - a. Workforce Housing Units shall be comparable in size, exterior materials, and quality to market-rate units.

- b. Units shall be distributed throughout the development and may be integrated within mixed-use buildings or stand-alone residential structures.
  - c. Construction of Workforce Housing Units shall occur concurrently with market-rate units.
  - d. Workforce Housing Units shall have access to the same amenities and open spaces available to all residents.
7. Workforce Housing Affordability Administration
- a. The developer shall submit an Affordability Plan at the time of development plan approval detailing the number, location, income levels, and proposed management of Workforce Housing Units.
  - b. An affordability covenant or development agreement shall be executed prior to the issuance of a zoning certificate.
  - c. Affordability shall be ensured for a minimum of fifteen (15) years through a recorded agreement approved by the Township.
  - d. The property owner or management entity shall submit annual certifications verifying continued compliance.
  - e. The Township reserves the right to audit or inspect records to ensure compliance
  - f. Upon expiration of the required affordability period, units may convert to market-rate housing only if the Township is provided with written notice and an opportunity to negotiate continued affordability through renewal or alternative incentives.

8. Administrative Flexibility

The Zoning Administrator may approve minor modifications – defined as adjustments not exceeding twenty percent (20%) of the originally approved unit percentages, Median Household Income (MHI) level thresholds, or duration requirements - upon a finding that the intent of this section—to provide long-term, attainable workforce housing—is substantially met and that such modification improves project feasibility without diminishing community benefit.

Examples of Minor Modifications. Minor modifications may include, but are not limited to:

- a. Adjusting the proportion of income-restricted units by twenty percent (20%).
- b. Adjusting income qualification levels by no more than twenty percent (20%) of the stated MHI threshold.
- c. Modifying duration or affordability-control periods by no more than twenty percent (20%).

Examples of Major Modifications (Requires Formal Review and Approval). Major modifications—which exceed the thresholds above and therefore **cannot** be approved administratively—include:

- a. Reducing the number of income-restricted units by more than twenty percent (20%).
- b. Increasing the allowable MHI income thresholds by more than twenty percent (20%).
- c. Reducing the affordability period by more than twenty percent (20%).
- d. Any change that materially decreases community benefit, alters the overall intent of the workforce-housing commitment, or modifies the approved development plan in a way that affects site layout, building massing, traffic impacts, or public infrastructure.

Written Findings Requirement. Before approving any minor modification, the Zoning Administrator shall prepare written findings demonstrating:

- a. The modification meets the definition of “minor” as provided above;
- b. The modification maintains the overall purpose and intent of the workforce-housing requirements;
- c. The change improves project feasibility or implementation; and
- d. The community benefit is not diminished.

## SECTION 5.6 PROCEDURES

- A. Zoning Certificate Required.** A zoning certificate shall be obtained prior to new construction, the change of use, or alteration of any structure or property within the Business Districts as provided in Section B Applicability. A zoning certificate shall be issued only upon the review and approval of the required application and plan as specified herein.
- B. Pre-Application Meeting.** The applicant(s) shall meet with the Zoning Administrator prior to filing a formal application.
- C. Application Submittal.** The applicant shall file application forms, plans and other information as required in Section 5.6 below.
- D. Application Review.**
  1. The Zoning Administrator shall, within thirty (30) days after receiving a fully completed application, take action to approve, disapprove, or approve with modifications or conditions the plan.
  2. The applicant shall be notified of the decision of the Zoning Administrator along with any reason for disapproval or modification.
  3. Upon approval, or approval with modifications or conditions and the submittal of a revised plan reflecting such modifications, a zoning certificate shall be issued by the Zoning Administrator. This certificate is binding upon the applicant, and work performed shall conform with and not deviate from the approved plan.

## SECTION 5.7 APPLICATION CONTENTS

The applicant shall file one (1) original set of signed and stamped complete development plans with the Zoning Administrator and one (1) digital set of complete signed and stamped development plans. The following information shall be provided and shall constitute the development plan. (The information required for the Site development plan, Landscaping and buffer plan, and Lighting plan may be presented on a single drawing provided information is legible.)

- A. General Information.**
  1. A written description of the proposed development including the total number of structures, units, bedrooms, offices, total and useable floor area, parking spaces, employees by shift, and similar related project-specific information.
  2. Project completion schedule/development phases.
  3. Name and address of the engineer, architect, and/or surveyor. Plans must be signed and stamped by a registered surveyor, engineer, and/or architect.
  4. Vicinity Map. A map drawn at a scale of 1" = 2,000' with north arrow and scale.
  5. Date of original submittal and last revision.

- B. Existing Conditions Map.** A map, drawn to a scale acceptable to the Township showing existing conditions on the subject site and on lots adjacent to the site to a distance at least 100 feet from the boundaries of the site, including but not limited to.
1. Lot Information. Locations, dimensions and legal descriptions of.
    - a. Existing property lines;
    - b. Setback lines as required by this Zoning Resolution;
    - c. Monuments;
    - d. Public and private easements of record; and,
    - e. North arrow and map scale.
  2. Topography and Natural Features including.
    - a. Existing topographic elevations in two-foot intervals;
    - b. Identification of steep slopes 15% or greater;
    - c. Location and elevations of existing watercourses and water bodies, including natural and/or manmade surface drainage ways, storm water controls, 100 year floodplain boundaries, riparian setback boundaries as required by this Zoning Resolution, and wetlands. A wetland delineation may be required;
    - d. Existing major vegetation, including all trees, 4" caliper or greater; and,
    - e. Other notable natural or man-made features.
  3. Existing structures. Existing buildings and other structures including but not limited to signs, fences, and existing structures to be demolished. Apply for demolition permit as required by Howland Township.
  4. Vehicular and pedestrian facilities including.
    - a. Location and design of existing drives, parking areas (indicate all spaces), loading and unloading areas, curbing, fire lanes, and curb cuts;
    - b. Location of existing public and private roads, and rights-of-way; and,
    - c. Public or private pedestrian routes, sidewalks, bike ways, barrier-free access.
  5. Utilities. Location of all utilities on site, including but not limited to.
    - a. Natural gas, electric, cable, telephone and associated easements;
    - b. Water supply lines and/or wells including fire hydrants and shut off valves;
    - c. Location and design of storm sewers, retention or detention ponds; and,
    - d. Waste water lines, clean out locations, connection points, and treatment systems including septic system if applicable.
- C. Site Development Plan.** A plan of the site, drawn to a scale acceptable to the Township, indicating the location(s) of all proposed site development features, and all existing site features to remain, including but not limited to.
1. Lot Information. Locations, dimensions and legal descriptions, as proposed or existing to remain, of.
    - a. Gross and net acreage of all parcels in the project;
    - b. Property lines and public right-of-ways;
    - c. Public and private easements; and,
    - d. North arrow and scale.
  2. Proposed Topography and Natural Features. As proposed or existing to remain.

- a. Topographic elevations in two foot intervals;
  - b. Identification of steep slopes 15% or greater; and,
  - c. Location and elevations of watercourses and water bodies, including natural and/or manmade surface drainage ways, storm water controls, 100-year floodplain boundary, riparian setback boundary, and if present, wetlands and their setback boundary, if any.
3. Proposed Structures. As proposed or existing to remain.
- a. All structure(s), intended uses, dimensions, area (total and by floor) and height of each building;
  - b. All accessory structures including but not limited to signs and fences;
  - c. Required setback lines (zoning and riparian);
  - d. Proposed setbacks for all structures, parking, and signs;
  - e. Location of outdoor storage areas and screening treatments; and
  - f. Location and specifications for proposed above or below-ground storage facilities for any chemicals, salts, flammable materials, or hazardous materials, as well as any containment structures or clear zones required by other government authorities.
4. Proposed Vehicular and Pedestrian Facilities. As proposed or existing to remain.
- a. Location and design of drives, parking areas (including spaces and drive aisles), loading and unloading areas, curbing, barrier-free access, fire lanes, and curb cuts;
  - b. Location of access easements, acceleration, deceleration, and passing lanes, if any, serving the development;
  - c. Points of ingress and egress;
  - d. Pedestrian circulation links with associated pavement markings and surface material type; and,
  - e. Other site features required by [Section 11 Parking Facilities](#) of this Resolution.
5. Proposed Utilities including.
- a. Natural gas, electric, cable, telephone and associated easements;
  - b. Location of proposed water supply lines and/or wells including fire hydrants and shut off valves;
  - c. Location and design of storm sewers, retention or detention ponds; and,
  - d. waste water lines, clean out locations, connection points, and treatment systems including septic system if applicable;
6. Site Information Summary Table. Include a summary table on the Site Development Plan. See example below.

SITE INFORMATION	REQUIRED	PROPOSED (SHOWN)
Zoning District	N/A	CRD-1
Lot Size (acres & sq. feet)	N/A	1.0 acre (43,560 sq. ft.)
Street Frontage	N/A	100 ft. (North River Road)
Landscaping - Shrubs 18" - 24" or larger	1/4 feet of frontage @ 100 ft.	25
Landscaping - Trees 1.5 caliper inches or larger	1/10 feet of frontage @ 100 ft.	15
Building Size	Minimum 1,200 sq. ft.	5,000 sq. ft.
	Maximum 10,000 sq. ft.	
Building Coverage	Maximum 25% of Lot	11.48%
Parking	1/100 @ 5,000 sq. ft. = 50	40 (variance required)

Impervious Surface Coverage (building, pavements, parking, drives, sidewalks)	Maximum 75% of Lot	48.28%
Green Space provided	Minimum 25% of Lot	51.72%
Front Building Setback (2 on corner lot)	40 feet	40 feet
Side Building Setbacks/Direction	20 feet	20 feet/west
	20 feet	20 feet/east
Rear Building Setback	30 feet	35 feet
Front Parking Setback	30 feet	33 feet
Side Parking Setbacks/Direction	10 feet (except cross-access)	10 feet/west (one cross-access)
	10 feet (except cross-access)	10 feet/east
Rear Parking Setback	20 feet	25 feet
Building Height	35 feet	23.5 feet

**D. Landscaping and Buffer Plan.** Landscaping and buffer drawing and information shall be provided including but not limited to the following.

1. Base information shall include locations of existing and proposed.
  - a. Property lines and public rights-of-way;
  - b. Building outlines;
  - c. Parking area and loading/unloading areas; and,
  - d. North arrow and scale.
2. Plants and planting areas. Proposed and existing to remain plants and planting areas.
  - a. Location and specifications of proposed façade, perimeter and internal landscaping, and other buffering features to be shown on plan using architectural symbols with a legend;
  - b. For each proposed landscape material, the proposed size (caliper inches) and height at the time of planting and approximate size at the time of maturity must be indicated;
  - c. All vegetation to be retained on the site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate; and,
  - d. Include any calculations. Provide the common and full scientific name of all planting materials.
3. Screening and buffering. Location, elevation views, size, and specifications for screening of all trash receptacles, waste disposal facilities, bulkheads, docks, air conditioners, generators, alternative energy systems and the method of screening where applicable.
4. Miscellaneous Structures. Indicate locations, elevations, heights, and materials for proposed wall and/or ground-mounted signs, flagpoles, berms, walls, fences, other screening features, and any other above-ground structures.
5. Utility service lines. Indicated utility locations including irrigation system if applicable.

**E. Lighting and Sign Plan**

1. Base information shall include locations of existing and proposed.
  - a. Property lines and public rights-of-way;
  - b. Building outlines, signs;
  - c. Parking area and loading/unloading areas; and,
  - d. North arrow and scale.
2. Lighting. Indicate locations and specifications for all exterior lighting fixtures including but not limited to.

- a. Types of units, lamps or wattage, location of lights and mounting heights, color of poles and fixture;
- b. An iso-foot-candle plan that shows typical foot-candle levels measured at grade across the site. A point photometric plan is required for major site plans; and,
- c. Cross sections of all lighted perimeter areas immediately adjacent to existing residential properties indicating how exterior lighting will be designed to limit spillover light and control off-site glare.

**F. Elevation Drawings and Material Samples.**

1. Elevations drawn to a scale acceptable to the Township illustrating all front, rear, and side views of each structure and sign.
2. Full-color architectural elevations of the building façade and proposed building materials; and
3. Samples of building materials and colors (roof, facade, trim, etc.) shall be provided.

**G. Storm Water Pollution Prevention Plan (SWP3).** Three copies of a Storm Water Pollution Prevention Plan (SWP3) shall be prepared with the same essential components and requirements as required by the Ohio Environmental Protection Agency (OEPA). Approval of the SWP3 by the Trumbull SWCD is required before issuing a Zoning Certificate.

**H. Storm Water Management Plan.** Submit a Storm Water Management Plan, consistent with the requirements of Howland Township Resolutions. Approval of the stormwater management plan by the Township Engineer is required before issuing a Zoning Certificate.

**I. Traffic Impact Analysis.**

1. The applicant shall provide information documenting the projected traffic impacts of the proposed new or expanded use of the site and for any change in ingress or egress to public roads. An analysis of each use shall be completed to determine the impact the proposed use will have on the existing public roadway system. The analysis will identify how any effect can be mitigated.—Where a new or expanded use is proposed that will increase trip generation of the site, the applicant shall provide an estimate of the number of trips to be generated in a peak hour. Trip generations shall be made using the most current edition of the Institute of Traffic Engineer's Trip Generation Manual.
2. The Township may require review of traffic impact information by the Township Engineer at a cost to the applicant. Additional information and analysis may be needed at a cost to the applicant if determined necessary by the Township Engineer to ensure safe and efficient ingress to the site, and egress to public roads, and/or design of on-site and off-site vehicular improvements.

**J. Expenses.** The applicant shall be responsible for the expenses incurred by the Township in reviewing the plan or any modifications to the plan. Such expenses may include, but are not limited to items such as the cost of engineering, planning, architectural, and legal services in connection with reviewing the plan and prepared reports, the publication and mailing of public notice in connection herewith, and any other reasonable expenses directly attributable to the application process.

# SECTION 6 RIPARIAN SETBACKS

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## SECTION 6.1 PURPOSE

It is determined that the system of rivers, streams, and other natural watercourses within Howland Township contributes to the health, safety, and general welfare of the residents of Howland Township. The specific purpose and intent of this regulation are to regulate uses and buildings and structures within riparian setback areas that would impair the ability of the riparian area to.

- Reduce flood impacts by absorbing peak flows, slowing the velocity of floodwaters, and regulating base flow.
- Assist in stabilizing the banks of designated watercourses to reduce woody debris from fallen or damaged trees, stream bank erosion, and the downstream transport of sediments eroded from designated watercourse banks.
- Reduce pollutants in designated watercourses during periods of high flows by filtering, settling, and transforming pollutants already present in designated watercourses.
- Reduce pollutants in designated watercourses by filtering, settling, and transforming pollutants before they enter designated watercourses.
- Provide designated watercourse habitats with shade and food.
- Reduce the presence of aquatic nuisance species to maintain a diverse aquatic system.
- Provide habitat to a wide array of wildlife by maintaining diverse and connected riparian vegetation.
- Benefit Howland Township by minimizing encroachment on designated watercourse channels and the need for costly engineering solutions such as gabion baskets and rip rap to protect structures and reduce property damage and threats to safety of watershed residents; and by contributing to the scenic quality of Howland Township, and thereby preserving the character of the township, the quality of life of its residents, and corresponding property values.

## SECTION 6.2 APPLICABILITY, COMPLIANCE AND VIOLATIONS

- A. This regulation shall apply to all zoning districts.
- B. This regulation shall apply to all structures and uses on lands containing a designated watercourse as defined in this regulation, except as provided herein.
- C. No approvals or permits shall be issued by Howland Township without full compliance with the terms of this regulation.

## SECTION 6.3 CONFLICTS WITH OTHER REGULATIONS AND SEVERABILITY

- A. **Greater Restriction Prevails.** Where this regulation imposes a greater restriction upon land than is imposed or required by any other provision of law, regulation, contract, or deed, the provisions of this regulation shall control.
- B. **Conflict.** This regulation shall not limit or restrict the application of other provisions of law, regulation, contract, or deed, or the legal remedies available thereunder, except as provided in Section 6.3(A) of this regulation.
- C. **Severability** If any clause, section, or provision of this regulation is declared invalid or unconstitutional by a court of competent jurisdiction, the validity of the remainder shall not be affected thereby.

## SECTION 6.4 ESTABLISHMENT OF DESIGNATED WATERCOURSES AND RIPARIAN SETBACKS

- A. **Designated watercourses shall include those watercourses meeting any ONE of the following criteria.**
  - 1. All watercourses draining an area greater than ½ square mile, OR
  - 2. All watercourses draining an area less than ½ square mile and having a defined bed and bank. In determining if watercourses have a defined bed and bank, Howland Township may consult with technical experts as necessary. Any costs associated with such consultations may be assessed to the applicant.
- B. **Riparian Setbacks on designated watercourses are established as follows.**
  - 1. A minimum of 120 feet on either side of all watercourses draining an area equal to or greater than 20 square miles.
  - 2. A minimum of 75 feet on either side of all watercourses draining an area less than 20 square miles and equal to or greater than one-half (0.5) square mile.
  - 3. A minimum of 25 feet on either side of all watercourses draining an area less than one-half (0.5) square mile and having a defined bed and bank as determined in Section 6.4(A) of this regulation.
- C. **The following shall apply to the Riparian Setback Map.**
  - 1. It shall be used as a reference document and the information contained therein shall be believed to be accurate.
  - 2. It shall be a guide only.
  - 3. Nothing herein shall prevent Howland Township from making additions, amendments, revisions, or deletions from the Riparian Setback Map from time to

time as may be necessary.

4. If any discrepancy is found between the Riparian Setback Map and this regulation, the criteria set forth in [Section 6.4\(A\) and \(B\)](#) shall prevail.

**D. The following conditions shall apply to the Riparian Setbacks.**

1. Riparian Setbacks shall be measured in a horizontal direction outward from the ordinary high water mark of each designated watercourse.
2. Except as otherwise provided in this regulation, Riparian Setbacks shall be preserved in their natural state.
3. Where the one hundred year floodplain is wider than the minimum riparian setback on either or both sides of a designated watercourse, the minimum riparian setback shall be extended to include the outermost boundary of the one hundred year floodplain as delineated on the flood hazard map(s) for the affected area provided by FEMA. If a FEMA defined floodplain does not exist for a designated watercourse, Howland Township may require site specific floodplain delineation in conformance with standard engineering practices and approved by Howland Township. Any costs associated with reviewing this site-specific floodplain delineation may be assessed to the applicant.
4. Where wetlands protected under federal or state law are identified within a minimum riparian setback, the setback shall consist of the full extent of the wetlands plus the following additional setback widths.
  - a. A 50-foot setback extending beyond the outer boundary of Category 3 wetlands.
  - b. A 30-foot setback extending beyond the outer boundary of Category 2 wetlands.
  - c. No additional setback shall be required adjacent to Category 1 wetlands.
5. Wetlands shall be delineated through a site survey prepared by a qualified wetlands professional retained by the landowner using the latest delineation protocols accepted by the U.S. Army Corps of Engineers at the time an application is made under this regulation. Any costs associated with reviewing these delineations may be assessed by Howland Township to the applicant.

## SECTION 6.5 PERMITTED STRUCTURES AND USES

The following structures and uses are permitted in the Riparian Setback without a zoning certificate. No structures or uses permitted under this regulation shall allow trespass on, or public access to, privately held lands.

- A. Recreational Activity.** Hiking, fishing, hunting, picnicking, and similar passive recreational uses, as permitted by federal, state, and local laws and associated structures including boardwalks, pathways constructed on pervious material, picnic tables, and wildlife viewing areas.
- B. Removal of Damaged or Diseased Trees.** Damaged or diseased trees may be removed.
- C. Revegetation and/or Reforestation.** Riparian Setbacks may be revegetated and/or reforested with non-invasive plant species.
- D. Water Supply Wells.** Water supply wells for the purpose of serving permitted structures or uses on lots of record shall be allowed.

## SECTION 6.6 CONDITIONAL USES

The following structures and uses may be permitted in a Riparian Setback, subject to the approval of an application for a conditional zoning certificate by the Howland Township Board of Zoning Appeals and in accordance with the following regulations and such other applicable regulations contained in this zoning resolution. When granting conditional zoning certificates for the following uses, the Howland Township Board of Zoning Appeals may, for good cause, attach such conditions as it deems appropriate. Certificates issued under this regulation are issued to the applicant only, shall not be transferred, and shall be void if not implemented within one (1) year of issuance.

**A. Crossings.** Crossings of designated watercourses through Riparian Setbacks with roads, driveways, easements, bridges, boardwalks, culverts, utility service lines, or other means may be permitted provided such crossings minimize disturbance in Riparian Setbacks and mitigate any necessary disturbances. Such crossings shall be designed by a professional engineer licensed in the State of Ohio and only be undertaken upon approval of a Crossing Plan by the Howland Township Zoning Administrator. Any costs associated with review of Crossing Plans may be assessed to the applicant.

1. One driveway crossing per stream per tax parcel will be allowed for individual landowners.
2. Roadway crossing for major and minor subdivisions, open space subdivisions, or any other non-single family residential use shall be designed and constructed per the Howland Township Storm Water Management & Site Development Standards and must be approved by Howland Township. No more than two crossings per 1,000 linear feet of stream center is permitted.
3. All roadway crossings shall be perpendicular to the stream flow and shall minimize disturbance to the Riparian Setback area and shall mitigate any necessary disturbances.
4. If work will occur below the ordinary highwater mark of the designated watercourse, proof of compliance with the applicable conditions of a US Army Corps of Engineers Section 404 Permit (either a Nationwide Permit, including the Ohio State Certification Special Conditions and Limitations, or an Individual Permit, including Ohio 401 water quality certification), shall also be provided to Howland Township. Proof of compliance shall be the following.
  - A site plan showing that any proposed crossing conforms to the general and special conditions of the applicable Nationwide Permit, or
  - A copy of the authorization letter from the U.S. Army Corps of Engineers approving activities under the applicable Nationwide Permit, or
  - A copy of the authorization letter from the U.S. Army Corps of Engineers approving activities under an Individual Permit.

**B. Streambank Stabilization and Erosion Control Measures.** Streambank stabilization projects along designated watercourses may be allowed, provided that such measures use natural stream channel design principles. Such streambank stabilization measures shall only be undertaken upon approval of a Streambank Stabilization Plan by the Howland Township Zoning Administrator. Any costs associated with the review of Streambank Stabilization Plans may be assessed to the applicant.

1. If streambank stabilization work is proposed below the ordinary highwater mark of the designated watercourse, proof of compliance with the applicable conditions of a US Army Corps of Engineers Section 404 Permit (either a Nationwide Permit 13, including the Ohio State Certification Special Conditions and Limitations, or an Individual Permit, including Ohio 401 water quality certification) shall be provided to Howland Township. Proof of compliance shall be the following.
  - A site plan showing that any proposed activity conforms to the general and special conditions of Nationwide Permit 13, or

- A copy of the authorization letter from the U.S. Army Corps of Engineers approving activities under Nationwide Permit 13, or,
- A copy of the authorization letter from the U.S. Army Corps of Engineers approving activities under an Individual Permit.

## SECTION 6.7 PROHIBITED USES

Any use not authorized under this regulation shall be prohibited in Riparian Setbacks. By way of example, the following uses are specifically prohibited. However, prohibited uses are not limited to those examples listed here.

- A. Construction.** There shall be no buildings or structures of any kind.
- B. Dredging or Dumping.** There shall be no filling, dredging, or dumping of soil, spoils, liquid, or solid materials.
- C. Fences and Walls.** There shall be no fences or walls, except as permitted under this regulation.
- D. Roads or Driveways.** There shall be no roads or driveways, except as permitted under this regulation.
- E. Motorized Vehicles.** There shall be no use, parking, or storage of motorized vehicles, except as permitted under this regulation.
- F. Disturbance of Natural Vegetation.** There shall be no disturbance of natural vegetation within Riparian Setbacks except for the following.
  1. Maintenance of lawns, landscaping, shrubbery, or trees existing at the time of passage of this regulation.
  2. Cultivation of lawns, landscaping, shrubbery, or trees in accordance with a landscaping plan submitted to the Howland Township Planning & Zoning Department in conformance with this regulation.
  3. Conservation measures designed to remove damaged or diseased trees or to control invasive plant species.
  4. Revegetation and/or reforestation as permitted under this regulation.
  5. Nothing in this section shall be construed as requiring a landowner to plant or undertake any other activities in the Riparian Setback provided the landowner allows for natural succession.
- G. Parking Spaces or Lots and Loading/Unloading Spaces for Vehicles.** There shall be no parking spaces, parking lots, or loading/unloading spaces.
- H. New Surface and/or Subsurface Sewage Disposal or Treatment Areas.** Riparian Setbacks shall not be used for the disposal or treatment of sewage, except as necessary to repair or replace an existing home sewage disposal system in accordance with local health district regulations.
- I. Storm Water Retention and Detention Facilities.** Riparian Setbacks shall not be used for stormwater retention and detention facilities

## SECTION 6.8 NON-CONFORMING STRUCTURES OR USES IN RIPARIAN SETBACK

Reference the Howland Township Zoning Resolution [Section 9. Nonconformities.](#)

## SECTION 6.9 VARIANCES WITHIN RIPARIAN SETBACKS

- A. General Standards.** The Board of Zoning Appeals may grant a variance to this regulation as provided herein. In granting a variance, the following standards shall apply.
1. In determining whether there is unnecessary hardship with respect to the use of a property or practical difficulty with respect to maintaining the Riparian Setback as established in this regulation, such as to justify the granting of a variance, the Board of Zoning Appeals shall consider the potential harm or reduction in riparian functions that may be caused by a proposed structure or use.
  2. The Board of Zoning Appeals may not authorize any structure or use in a Zoning District other than those authorized in the Zoning Resolution.
  3. Variances shall be void if not implemented within one (1) year of the date of issuance.
- B. Considerations.** In making a determination under *Section 6.10* of this regulation, the Board of Zoning Appeals may consider the following.
1. The natural vegetation of the property as well as the percentage of the parcel that is in the riparian setback.
  2. The extent to which the requested variance impairs the flood control, erosion control, water quality protection, or other functions of the Riparian Setback. This determination shall be based on the technical recommendation made by the Trumbull Soil and Water Conservation District or other conservation resource agencies.
  3. The degree of hardship, with respect to the use of a property or the degree of practical difficulty with respect to maintaining the Riparian Setback as established in this regulation, placed on the landowner by this regulation and the availability of alternatives to the proposed structure or use.
  4. Soil-disturbing activities permitted in the Riparian Setback through variances should be implemented to minimize clearing to the extent possible and to include Best Management Practices necessary to minimize erosion and control sediment.
  5. The presence of significant impervious cover, or smooth vegetation such as maintained lawns, in the Riparian Setback compromises its benefits to Howland Township. Variances should not be granted for asphalt or concrete paving in the Riparian Setback. Variances may be granted for gravel driveways when necessary.
  6. Whether a property, otherwise buildable under the ordinances of Howland Township, will be made unbuildable because of this regulation.
- C. Alternative to Granting Variance.** In order to maintain the Riparian Setback to the maximum extent practicable, the Board of Zoning Appeals may consider granting variances to other areas or setback requirements imposed on a property by the Zoning Resolution.
- D. Ability to Impose Conditions.** In granting a variance under this regulation, the Board of Zoning Appeals, for good cause, may impose such conditions that it deems appropriate to maintain the purposes of this regulation.

## SECTION 6.10 PROCEDURES FOR VARIANCES AND APPEALS

- A. Procedures.** Any applicant seeking a variance to the conditions imposed under this regulation or an appeal to an administrative decision made under this regulation may apply or appeal to the Board of Zoning Appeals. The following conditions shall apply.
1. When filing an application for an appeal to an administrative decision, the applicant shall file a notice of appeal specifying the grounds with the Board of Zoning Appeals

within twenty (20) days of the zoning official's decision. Upon determining that the application is complete and upon receipt of the fee, the zoning official shall transmit to the Board of Zoning Appeals the application along with any supporting documentation constituting the record from which the administrative decision subject to appeal was based.

2. When applying for a variance, the applicant shall file a variance request application with the Board of Zoning Appeals, through the Planning and Zoning Department.
3. Applications for variances or appeals of administrative decisions shall not be resubmitted to the Board of Zoning Appeals within one (1) year of the date of a final decision by the Board of Zoning Appeals on the original application, unless the original application shows the Board of Zoning Appeals either of the following.
  - a. Newly discovered evidence that could not have been presented with the original submission, or
  - b. Evidence of a substantial change in circumstances since the time of the original submission.
4. A decision by the Board of Zoning Appeals in response to an application for a variance request or an appeal of an administrative decision filed pursuant to this regulation shall be final.

## SECTION 6.11 INSPECTION OF RIPARIAN SETBACKS

- A. **Riparian Setback Identification Inspection.** The identification of Riparian Setbacks shall be inspected by Trumbull County Soil and Water Conservation District, and Howland Township, or an entity designated by Howland Township.
  1. When a preliminary subdivision plat or other land development plan is submitted to Trumbull County; or
  2. When a zoning permit is requested; or
  3. Prior to soil disturbing activities to inspect the delineation of the Riparian Setback as required by these regulations.
- B. **Violation Inspection.** Any time evidence is brought to the attention of Howland Township that uses or structures are occurring that may reasonably be expected to violate the provisions of this regulation.

## SECTION 6.12 PENALTY

Reference the Howland Township Zoning Resolution [Section 20.8. Enforcement.](#)

# SECTION 7 STEEP SLOPES

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## SECTION 7.1 PURPOSE

The purpose of this Section is to reduce damage to streams and lakes from the consequences of excessive and improper construction, erosion, storm water runoff, or effluent from improperly sited sewage disposal systems, and to preserve the natural topography, drainage patterns, vegetative cover, scenic views, wildlife habitats, and to protect unique natural areas.

## SECTION 7.2 APPLICABILITY

This Section shall apply to all unincorporated areas of Howland Township with an existing or proposed, natural or man-made, slope of fifteen percent (15%) or greater.

## SECTION 7.3 APPLICATION REQUIREMENTS

- A. Uses that will cause site disturbance must show the area subject to site disturbance in two-foot (2') contours.
- B. Engineered slopes, retaining walls, or any other structural improvement must be designed and stamped by a licensed professional in the state of Ohio and show specific methods for controlling soil erosion and sedimentation, soil loss, and excessive storm water runoff, both during and after construction.
- C. A hydrology, drainage, and flooding analysis will be included that shows the effect of the proposed development on water bodies and/or wetlands in the vicinity of the project.
- D. A grading plan for the construction site and all access routes will be prepared.
- E. All plans must also be designed and approved in conjunction with and in compliance with *Howland Township or Trumbull County Erosion and Sediment Control (ESC) Regulations, whichever is the most protective.*

## SECTION 7.4 PERFORMANCE STANDARDS

- A. **Preservation:** Existing natural and topographic features, including vegetative ground cover, will be preserved to the greatest extent possible. If extensive vegetation is removed, the site shall be replanted with indigenous vegetation and replicate the original vegetation as much as possible.
- B. **Cut and Fill Criteria:** The grading cut and fill should not exceed a 2.1 ratio, and all slopes must meet the following criteria.
  - 1. Slopes between 2.1 and 4.1 must be planted with native, non-invasive, maintenance-free vegetation. These slopes may not be greater than ten (10) feet in height without a minimum five-foot (5') wide vertical bench at a maximum one percent (1%) slope. Adjacent parking to these slopes must have a six-inch (6")

barrier curb for heights less than five (5) feet and guardrail and curb for heights in excess of five (5) feet.

2. Slopes between 4.1 and 6.1 must be planted with native, non-invasive, maintenance-free vegetation if they exceed ten (10) feet. These slopes may not be greater than fifteen (15) feet in height without a minimum five-foot (5') wide vertical bench at a maximum one percent (1%) slope. Adjacent parking must have a six-inch (6") barrier curb regardless of slope height.
  3. Adjacent parking to slopes less than 6.1 will require a six-inch (6") barrier curb for heights greater than twenty (20) feet and guardrail with curb for heights of thirty (30) feet or greater.
- C. Driveway:** No section of any driveway may exceed a ten percent (10%) slope for residential subdivisions or an eight percent (8%) slope for non-residential site plans.
- D. Extreme Slope:** No structure shall be built on an extremely steep slope (greater than 25% prior to site disturbance).

## SECTION 7.5 ADMINISTRATION

- A. Alternatives:** In addition to compliance with the regulations set forth in this Section. The applicant must demonstrate that no alternatives are available for the productive use of areas outside of the areas with steep slopes, that no practicable alternatives exist to the proposal under consideration, and that all measures have been taken to minimize the impact that construction activities will have upon the District.
- B. Township Engineer Approval:** Any project subject to this Section shall be reviewed and approved by the Howland Township Engineer.

# SECTION 8 PROHIBITED PROPERTY CONDITIONS

Section 8.1 Prohibited Property Conditions..... 85

## SECTION 8.1 PROHIBITED PROPERTY CONDITIONS

- A Prohibitions:** The following property conditions are prohibited in all zoning districts, unless specified.
1. Manufacturing or storing of explosives, gun powder, or fireworks.
  2. Dumping, storing, burying, reducing, disposing of or burning, junk, garbage, refuse, tires, car parts, construction materials, appliances, scrap metal, cloth, paper, plastic, wood, toxic wastes, medical wastes, or wastes from soil contaminant plants, rubbish, offal, and dead animals (except where permitted as a Conditional Use in "I" Industrial and Manufacturing Districts).<sup>23</sup>
  3. The parking or storing of a vehicle or trailer on a lawn or dirt surface.
  4. Existence of any physical condition that may constitute an attractive nuisance to children, including, but not limited to, abandoned wells or shafts, open excavations, or unsecured structures.<sup>24</sup>
  5. Existence of holes, breaks, loose or rotting materials, on exterior walls or roofs of structures.<sup>25</sup>
  6. The keeping of a junk motor vehicle. A junk motor vehicle is a motor vehicle that meets the following criteria: it must be three model years or older, apparently inoperable, and extensively damaged, including, but not limited to, missing wheels, tires, engine, or transmission.
  7. Parking or storage of any motor vehicle, trailer, recreation vehicle, boat or boat trailer, in a wrecked, inoperable, dismantled or abandoned condition or without current, legally displayed license plates is prohibited unless it is parked or stored completely within an enclosed building unless it is part of a duly permitted use.
  8. Any other use or property condition that constitutes a health hazard, safety hazard, or general nuisance to the general public.
  9. Mobile homes, trailers, utility trailers, commercial vehicles, or other motor vehicles shall not be used to store equipment or materials.
  10. Any non-residential activity or use that is hazardous, noxious or offensive due to the emission or off-site migration of odor, noise, vibration, litter, refuse, or wastewater, unless duly approved by local, state, or federal authority.
  11. The improper management and maintenance of permitted non-residential waste receptacles, including grease containment vessels. Access doors, gates, and lids shall be kept closed other than to deposit garbage, rubbish, or grease or to empty the dumpster or outdoor grease container. Allowing outdoor grease or oil storage containers to accumulate grease or oil on the outside of the container or allowing the grease or oil to exit the container onto the ground or parking lot is prohibited.

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<sup>23</sup> Amended 02/27/1999

<sup>24</sup> Added 02/27/1999

<sup>25</sup> Added 02/27/1999

12. Except in the Industrial and Manufacturing zoning District "I" parking or storing of a semi-tractor and/or trailer, motor vehicle over one-ton capacity or 16,000 lbs. gross vehicle weight, or any equipment customarily used for commercial or industrial purposes unless duly permitted.

**B Fines:** Notwithstanding [Section 20.8](#) of the Howland Township Zoning Resolution, the maximum fine for violation of Section 8.1(A)(7) shall not exceed \$100.00 per violation; each day may constitute a separate violation. All other remedies provided by said Section 20.8 may be enforced.

**C Massage Establishment:** No person, firm, partnership, or corporation or other entity shall operate a massage establishment within the unincorporated territory of Howland Township. This prohibition does not apply to the practice of any limited branch of medicine or surgery in accordance with RC 4731.15 or the practice of providing therapeutic massage by a licensed physician, a licensed chiropractor, a licensed podiatrist, a licensed nurse, or any other health professional certified or registered to practice in the State of Ohio.<sup>26</sup>

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<sup>26</sup> Added January 11, 2014

# SECTION 9 NONCONFORMING USES AND STRUCTURES

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## SECTION 9.1 PURPOSE

- A. The purpose of this Section is to provide for the regulation of uses, structures, and lots lawfully established prior to the enactment of this Zoning Resolution and amendments hereto but which do not conform to the existing provisions of this Zoning Resolution.
- B. Lawfully established uses, structures, and lots may be continued, despite their nonconforming conditions, subject to the provisions of this Resolution which provide for their completion and continued use, but also provide for reasonable regulation of their restoration, reconstruction, extension, and substitution.
- C. While it is the intent of this Resolution to permit nonconforming conditions to continue until abandoned, removed, or abated, a nonconformity is deemed incompatible with currently permitted uses and requirements in the zoning district in which it exists and with the adopted plans of the Township and shall be discouraged, especially where the nonconformity constitutes a nuisance or hazard.

## SECTION 9.2 NONCONFORMING USE

- A. **Continuance of Lawful Nonconforming Use.** The lawful use of any building or land existing at the effective date of this Resolution or amendments may be continued, although the use does not conform with the provisions of this Resolution subject, however, to the provisions of this Section 9.
- B. **Discontinuance or Abandonment.** Whenever a nonconforming use has been discontinued for a period of two (2) years or more, any further use shall be in conformity with provisions of this Resolution. A nonconforming use that has been abandoned shall not be replaced by a nonconforming use. Among other causes, a nonconforming use shall be deemed abandoned when the use has been replaced by a conforming use.
- C. **Change in Use.** When a nonconforming use has been changed to a more restricted use or to a conforming use, the use shall not thereafter be changed to a less restricted or nonconforming use. A nonconforming use may be changed to another nonconforming use provided that the changed nonconforming use is identical or in less conflict with the character and use of the district than the existing nonconforming use as determined by the Board of Zoning Appeals.

In making such a determination, the Board shall consider, among other factors, the following.

1. Whether the change of use results in the same or a reduction of such impacts as offensive noise, odors, vehicular traffic, or exterior lights.

2. Whether the proposal for change of use maintains the same site conditions and operational characteristics or proposes new mitigating features such as fences, larger setbacks, landscaping, façade improvements, or reduced hours of operation.
- D. Displacement.** Except as provided in Sections 9.2(E) and 9.3(A) below, no nonconforming use shall be extended to displace a conforming use.
- E. Enlargement of Use.** A nonconforming use may be enlarged to expand the area of the use in one or more additions, provided that the total area of the expansions does not exceed twenty-five percent (25%) of the area of the use as it existed at the time the use became nonconforming and provided that the area or intensity or nature of a use shall not be enlarged in any manner which creates or increases a nuisance or hazard affecting or potentially affecting the surrounding properties or the community.
- F. District Changes.** Whenever the boundaries of a district shall be changed so as to transfer an area from one district to another of a different classification, the foregoing provisions shall also apply to any nonconforming use existing therein.

### SECTION 9.3 NONCONFORMING STRUCTURE

- A. Enlargements.** A nonconforming structure may be enlarged to extend such structure to a total area not to exceed twenty-five percent (25%) more than the area of the structure as it existed at the time it became nonconforming.
- B. Restoration of Damaged Structure.** Nothing in this Resolution shall prevent the reconstruction, repairing, rebuilding, and continued use of any nonconforming structure damaged by fire, collapse, explosion, or acts of God, subsequent to the date of this Resolution, provided that:
1. In the case of a structure for commercial use, not more than fifty percent (50%) of the value of the structure was lost in the damage event; and
  2. the replacement or repair does not extend the nonconformity except as permitted in Section 9.2(E) above; and
  3. the reconstruction or restoration is completed within two (2) years after the date of destruction.
- In the case of a structure for commercial use, when more than fifty percent (50%) of the value of the structure is lost in the damage event, the structure shall not be reconstructed except in a manner conforming to these Regulations<sup>27</sup>.
- C. Unsafe Structures.** Nothing in this Resolution shall prevent the strengthening or restoring to a safe condition of any portion of a nonconforming building or structure declared unsafe by a proper authority.
- D. Repairs and Maintenance.** Repairs and maintenance work as required to keep a nonconforming structure in sound condition are permitted.

### SECTION 9.4 NONCONFORMING LOT

- A.** When a nonconforming lot of record, at the effective date of this resolution or amendment thereto, can be used in conformity with all applicable provisions of this Zoning Resolution, except that the area, width or depth of the lot is nonconforming, then the lot may be used as if its area, width or depth were conforming.
- B.** When conforming use of a nonconforming lot of record, at the effective date of this resolution or amendment thereto, cannot reasonably be established due to the yard or setback requirements of the district in which the lot is located, the Board of Zoning Appeals may grant variances to yard or setback requirements as necessary to establish a permitted use of the district, provided that there is no contiguous land in common ownership with the

<sup>27</sup> Section 9.3(B) amended October 23, 2015.

subject lot which could be used to reduce or eliminate the nonconformity and the variance meets all other variance standards of this Resolution.

## SECTION 9.5 COMPLETION OF APPROVED CONSTRUCTION

Nothing in this Resolution shall prohibit the completion of construction and the use of a nonconforming structure for which a zoning certificate has been issued prior to the effective date of this Resolution, or any amendment, provided that construction is commenced within one (1) year after the zoning certificate was issued.

## SECTION 9.6 JURISDICTION

- A.** Whenever an application is submitted to the Zoning Administrator for a zoning certificate for the following:
1. a use or structure which displaces a nonconforming use or structure;
  2. for the use of a nonconforming lot in a manner that is in compliance with the provisions of this Zoning Resolution; or
  3. for an alteration to a dwelling that does not increase its nonconformity, the Zoning Administrator shall take action upon the application as provided for any zoning certificate.
- B.** Except as provided in Section 9.6(A) above, whenever an application is submitted to the Zoning Administrator for a zoning certificate for the alteration, expansion, substitution, reconstruction, or replacement of a nonconforming use or of a nonconforming structure, or for a use or construction upon a nonconforming lot, the land owner shall submit the application to the Board of Zoning Appeals for review and action. The Board shall take action to direct the Zoning Administrator to issue or deny the application not later than sixty (60) days after the date of the meeting at which the application was first considered by the Board, unless a longer time for consideration is agreed by the Board and the applicant.
- C. Conditions.** The Board of Zoning Appeals shall have the authority to establish reasonable conditions and requirements as it deems necessary to carry out the purposes of this Zoning Resolution. Reasonable conditions and requirements may include but are not limited to:
1. regulation of the locations and dimensions of uses and structures;
  2. regulation of the manner and times of operation of the use;
  3. requirements for architectural and landscaping design features including necessary buffer features;
  4. requirements for fees or exactions necessary to mitigate the impacts of the approved changes in the nonconforming use or structure.

## SECTION 9.7 NONCONFORMING SIGNS

Nonconforming Signs shall be subject to the provisions of [Section 10.3\(F\) Signs](#).

# SECTION 10 SIGNS

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## SECTION 10.1 PURPOSE

This Section establishes the minimum necessary regulation of signs for the following purposes.

- A. Encouraging the effective use of signs as a means of communication.
- B. Minimizing the possible adverse effects of signs on nearby public and private property and thereby maintaining and promoting property values.
- C. Creating an attractive economic and business climate.
- D. Enhancing and protecting the physical appearance of the community.
- E. Promoting the safety of vehicular and pedestrian travelers on roadways.
- F. Seeking to preserve and protect the public's First Amendment rights.

## SECTION 10.2 APPLICABILITY AND EXEMPTIONS

- A. Unless otherwise provided by this Section, the regulations contained within this Section shall apply to all signs and to all zoning districts. This Section shall apply to all signs currently existing, to any sign erected, constructed, or altered after the effective date of this Section, and to any sign that replaces an existing sign or component thereof.
- B. Noncommercial speech may be substituted for duly permitted commercial speech provided that the sign structure complies with the requirements in this Section without consideration of message content. Such substitution of message may be made without any additional approval or permitting, except where a permit is necessary to document that the physical change to the sign does not create a nuisance or safety hazard. This provision prevails over any provision to the contrary in this Section.

## SECTION 10.3 GENERAL REQUIREMENTS

- A. **Sign Permits.**
  - 1. A sign permit shall be required for new construction, installation, alteration, and structural repairs of a sign and for permanent signs and temporary signs as required by this Section.
  - 2. Sign permits shall be issued by the Howland Township Zoning Department.
  - 3. Procedure.
    - a. An applicant seeking a sign permit shall submit a complete application on forms provided by the Township together with information or exhibits required to clearly document the proposed sign or changes thereto.

- b. The applicant shall be the owner, or a person authorized by the lot owner, to submit an application of the lot on which the subject sign is located or proposed to be located.
- c. Upon receipt of a complete application, the Zoning Department shall review the applications and shall, within five (5) working days of receipt, either issue a sign permit or issue to the applicant a written statement of disapproval stating the specific requirements of this Section which would be violated by the proposed sign.
- d. If the Department issues a statement of disapproval, the applicant may submit a written appeal to the Board of Zoning Appeals.

**B. Measurement of Sign Face, Sign Height, Width, and Setbacks**

1. Sign Face. Freestanding Sign.

- a. The sign face of a freestanding sign shall be computed by measuring the area bound within a single rectangle enclosing all lettering, numbers, emblems, logos, trademarks, shapes, patterns, or other figures or elements together with the panel or cabinet surface upon which they are mounted, and trims or elements integral to and visible in the same plane as the panel or cabinet surface.
- b. Structural members supporting the sign and support enclosures located below the sign face bearing no sign copy (except the address of the lot on which the sign is located) shall not be included in the sign face area calculation.

2. Sign Face. Wall Sign.

- a. The sign face of a wall sign shall be computed by measuring the area bound within a single rectangle enclosing.
  - i. letters, numbers, emblems, logos, trademarks, shapes, patterns, or other figures or elements together with the panel or cabinet surface upon which they are mounted; and
  - ii. trims or elements integral to and visible in the same plane as the panel or cabinet surface; and
  - iii. any material or color forming an integral part of the sign display or used to differentiate the sign from the background wall against which it is placed.
- b. The sign face of a wall sign comprised of individual letters, numbers, emblems, logos, trademarks, shapes, patterns, or other figures or elements mounted on a wall and having no background features distinguished from the normal wall surface may be measured as the area of one (1) rectangle or the sum of the areas of two (2) rectangles.

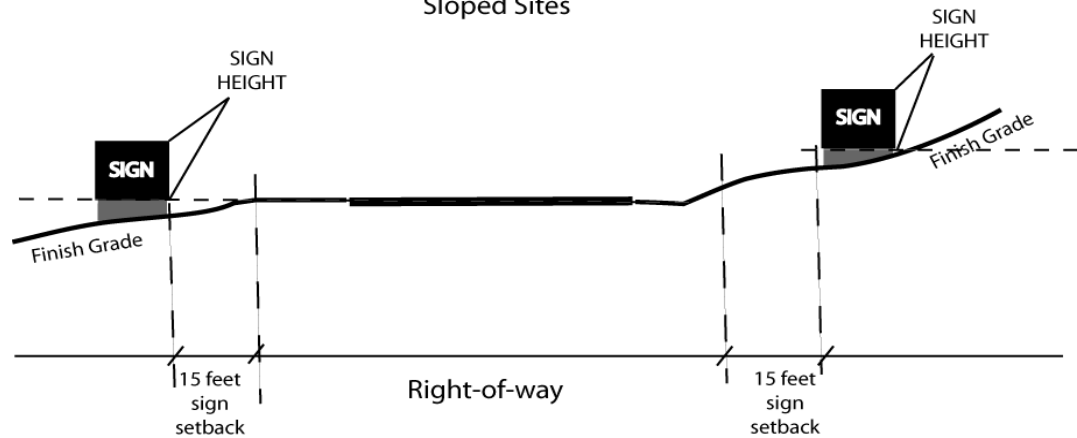
3. Sign Setbacks.

- a. The front setback shall be measured from the street right(s)-of-way.
- b. The side and rear setbacks shall be measured from the property lines.
- c. Measurements to the sign shall be to the closest part of the sign, including the supporting structure and any projections thereof.

4. Sign Height

- a. The height of a sign shall be measured from the ground at the natural or finished grade of the site (excluding any additional mounding of soil or other material below the sign) to the highest point of the sign including any projection above the sign face, frame or structure.
- b. Height Measurement on Sloped Sites

**Figure 10.1**  
**Sign Height Measurement**  
 on  
**Sloped Sites**



- i. The height of a sign located on a ground elevation that is lower than the abutting street surface may be measured from the ground level at the abutting street pavement edge.
- ii. The height of a sign located on a ground elevation that is higher than the abutting street surface may be measured from the finish grade at the base of the sign.

5. **Sign Width.** The width of a sign shall be measured on a horizontal line in the same plane as the sign face which includes the furthest extent of all elements and projections of the sign face and sign structure. The total width of a freestanding sign shall not exceed the width of the sign face plus two (2) feet more on each side of the sign face.

**C. Additional Sign Standards**

1. **Meaning of "Lot" for purposes of Sign Regulations.** For the purposes of this Section regulating the permitted locations of signs, the term "lot" shall include in its meaning any development of land for commercial or industrial uses that is planned, designed, or operated to function as a unified complex such as a shopping center or other multi-tenant commercial, industrial, or office building or site. The existence of two or more lots within such a complex shall not establish a right for additional signage unless such lots were specifically platted in approval of the development.
2. **Permanent Signs, which include wall and freestanding signs, shall comply with the following construction standards.**
  - a. Shall be permanently attached to a structure or to a foundation in the ground; and,
  - b. Shall be constructed, designed, operated and maintained in a manner suitable for continuous exposure to the elements without deterioration, usually for a period of years.
3. **Wall Signs.**
  - a. A wall sign shall be attached to the wall of a building in a plane parallel to the wall, shall not extend more than twelve (12) inches from the plane of the wall, and shall not extend above the wall.
  - b. A wall sign may be attached to a parapet which is constructed in a manner which appears to be an extension of the wall.
  - c. A wall sign shall not be attached to a sloped wall or mansard-like surface.

4. Freestanding Signs
  - a. No freestanding sign shall have more than two (2) sign faces. Faces shall be installed parallel to one another or at an angle not greater than ninety (90) degrees.
  - b. Landscaping Required for Freestanding Signs. See [Section 12 Landscaping and Buffers](#).
  - c. Standards for Freestanding Sign Structures. Bases and other elements used to support a sign shall comply with the following.
    - i. Structures and materials used to screen or protect structural elements should be limited in dimension to that necessary to construct and maintain a safe and attractive sign. Structures used to support signs shall be comprised of either.
      - Two posts, with one mounted on each side of the sign face, or;
      - A base and/or screening that is at least one-half as wide as the sign face.
    - ii. Except where specifically permitted, pole signs are prohibited
    - iii. Structures and materials used to screen or protect structural elements shall be white, grey, brown, tan, black, dark red, or similar colors. Brighter colors such as orange, green, blue, yellow, and fluorescents are prohibited. The use of materials and colors consistent with those used in the principal building on the lot are encouraged.

#### **D. Illumination**

1. An illuminated sign or lighting device shall employ only a light of constant intensity. No sign shall be illuminated by or contain any lights that appear to be intermittent, flash, rotate, or move.
2. An illuminated sign or lighting device shall not be placed or directed so as to direct the beams and illumination therefrom upon a public thoroughfare, highway, side wall, or adjacent premises so as to cause glare or reflection that may constitute a hazard or nuisance.
3. All wiring, fittings, and materials used in the construction, connection, and operation of electrically illuminated signs shall be in accordance with the provisions of the local electric code. Electrical wiring serving any sign shall be installed underground, on or within the structure to which the sign is attached.
4. Light sources used in or upon signs shall only be white or similar bulbs. Colored bulbs are prohibited, except for a permitted electronic message center sign.
5. External Lighting of Signs.
  - a. Lighting fixtures illuminating signs shall be located, aimed and shielded so that light is directed only onto the sign face.
  - b. Light fixtures shall be designed so that the light source is not directly visible from adjacent streets or properties.
  - c. Fixtures used to illuminate signs shall be either top-mounted or ground-mounted. Full cut-off fixtures are required.
6. Internal Lighting of Signs.
  - a. Internally lighted signs shall consist of light lettering or symbols on a dark or opaque background.
  - b. Halo illumination or back lit lettering is permitted.

**E. Maintenance**

1. Sign Maintenance. When any sign becomes unsafe, the owner thereof or the person maintaining the same shall, upon receipt of written notice from the Zoning Administrator, proceed at once to put such sign in a safe secure condition or remove the sign.
2. Signs in Public Rights-of-way. No sign shall be placed in any public right-of-way except publicly owned signs, such as traffic control sign and directional signs. Whenever a sign is placed within the right-of-way of any public highway, the Township shall provide written notice to the owner of the sign of the violation. The sign shall be removed within twenty-four (24) hours after which the Township shall remove said sign and hold in storage for thirty days. The sign may be claimed and returned to the owner upon payment of any expenses incurred by the Township.
3. Sign Safety. When a sign, located on private property causes an obstruction of view, for safety purposes, after review by the safety forces, that sign shall be deemed to be in violation. The sign shall be removed immediately by the owner within twenty-four (24) hours after written notice has been given, after which the township shall remove said sign and hold in storage for thirty days. The sign may be claimed and returned to the owner upon payment of any expenses incurred by the Township.

**F. Nonconforming Signs**

1. Every nonconforming sign shall be maintained in good condition and may continue until such sign is required to be removed as set forth in this Section.
2. A nonconforming sign shall not be structurally altered, relocated, or replaced unless brought into compliance with the provisions of this Section.
3. Termination. A sign shall be brought into conformance with the provisions of this Section or removed, when any of the following occur:
  - a. The area or shape of the sign face is changed;
  - b. The sign height, setback, or location is changed;
  - c. The sign structure, including foundation, supports, and/or sign cabinet, is altered;
  - d. The sign is converted to an electronic message center sign; or
  - e. The property upon which the sign is located ceases to be used for a period of two (2) years or more.
4. The sign shall be removed if the sign face and/or its foundation support or cabinet are damaged or deteriorate into an unsafe condition to the extent that the repair cost exceeds fifty percent (50%) of the replacement cost of the sign. If the repair costs do not exceed fifty percent (50%) of the replacement cost of the sign, the sign may be repaired, subject to a sign permit and any applicable building permits.
5. Removal of a sign includes the removal of the face, supporting structure and structural trim.
6. A nonconforming sign may have its sign face replaced subject to design and illumination standards of Section 10.

**SECTION 10.4 AUTHORIZED SIGNS. SIGN PERMIT REQUIRED**

The following signs shall be permitted in compliance with the provisions of this Section and subsequent to obtaining a sign permit.

**A. Permanent Signs**

1. Free Standing Sign in Residential Zoning Districts. One (1) freestanding sign is permitted for a non-dwelling use (*ie, church, school, public building*) permitted in the Residential District. The sign shall not exceed thirty (30) square feet in area and six (6) feet in height and shall be setback at least ten (10) feet from the right-of-way and at least thirty (30) from any property line. Illumination is permitted consistent with the standards set by this section.
2. Freestanding Sign in Non-Residential Zoning Districts. One freestanding permanent sign shall be permitted per lot conforming to the standards listed in [Table 10.4 Sign Standards](#).

Table 10.4 Sign Standards					
District	Lot Frontage (Ft.)	Minimum Front Setback (Ft.)	Minimum Side Setback (Ft.)	Maximum Sign Height (Ft.)	Maximum Sign Face Per Side (Sq. ft.)
<b>CRD-OI &amp; CRD-1</b>					
Low Profile Signs	0 to 100	10	10	8	30
	101 to 150				60
	Over 150				90
<b>CRD2</b>					
Low Profile Signs	0 to 100	10	10	8	50
	101 to 150				100
	Over 150				140
<b>HC &amp; C</b>					
1 Business		10	10	15	50
2-6 Businesses				18	110
7-10 Businesses				20	150
<b>I</b>					
Low Profile Signs	0 to 100	10	10	8	30
	101 to 150				60
	Over 150				90
NOTE. For Low Profile Signs, lowest part of Sign Face must be installed not more than two (2) feet above grade.					

3. Wall Sign
  - a. One (1) or more wall signs are permitted for each space occupied by a business within a building. The total area of a wall sign or signs shall not exceed one-and-one-half (1.5) square feet per one (1) lineal foot of the front building wall enclosing space occupied by the business.

- b. Additional wall signs on a building located on a corner lot are permitted. An area equal to twenty-five percent (25%) of the maximum sign area permitted on the front wall may be added to the total wall sign allocation for buildings on a corner lot.
    - c. The total area of permitted wall signage may be distributed on any building wall associated with that business.
- 4. Directional, Directory, and Menu Board Signs.
  - a. Directional Sign
    - i. One (1) permitted for each driveway access from a public street.
    - ii. One (1) additional directional sign is permitted for each intersection of driveways within a site to identify traffic routing, entrances, and services, such as drive-in lanes.
    - iii. No single directional sign shall exceed four (4) square feet.
    - iv. Directional sign shall have a maximum height of five (5) feet.
    - v. Directional sign shall be non-illuminated.
  - b. Directory Sign
    - i. One (1) permanent freestanding sign is permitted per curb cut
    - ii. No single directory sign shall exceed sixteen (16) square feet.
    - iii. Directory sign shall have a maximum height of six (6) feet.
    - iv. Directory sign shall be non-illuminated.
  - c. Menu Board.
    - i. Two (2), single-sided menu boards shall be permitted per parcel
    - ii. The menu board shall be accessory to a principal permitted use.
    - iii. The maximum sign area shall be thirty-two (32) square feet.
    - iv. The maximum sign height shall be eight (8) feet.
    - v. Menu board shall be set back a minimum of fifteen (15) feet from the public right-of-way line and any lot lines.
    - vi. Menu board shall not be located in a front yard facing a public right-of-way.
    - vii. Menu board may be an electronic message center sign with images in addition to alphanumeric messaging provided the menu board complies with EMC message display, curfew, and brightness standards found in [Section 10.4 \(A\)\(8\)](#).
- 5. Subdivision Entry Sign. For the purposes of promoting public way finding and safety, one (1) subdivision entry sign may be located at or near a public or private road entrance to a platted subdivision. The sign shall not exceed thirty (30) square feet in area and six (6) feet in height and shall be setback at least ten (10) feet from the right-of-way. Illumination is permitted by means of external lamps mounted on the top of the sign or on the ground.
- 6. Outdoor Advertising Signs, also known as off-premises signs or billboards, shall be permitted in conformance with the following regulations.
  - a. All outdoor advertising signs shall comply with the construction standards for a permanent sign and shall require a permit. Outdoor Advertising shall not be permitted as a temporary sign.
  - b. Outdoor advertising signs shall comply with the following.
    - An outdoor advertising sign, relating to a service or activity which is not located on the same lot as the sign, shall not exceed twelve

(12) square feet in area, shall not exceed five (5) feet in height, and shall be set back as required for permanent signs in the district in which located. The lowest part of the sign face shall not be higher than two (2) feet above grade.

- An outdoor advertising sign shall not be permitted on a lot where a permanent freestanding sign is already located, provided that an off-site message may be expressed on the existing freestanding sign. Only one (1) freestanding sign shall be permitted per lot.
7. Changeable Copy Signs Permitted. Any sign or portion of a sign may be constructed as a non-electronic changeable copy sign
8. Electronic message center (EMC) signs are permitted in all zoning districts provided they meet the following standards in addition to all other requirements established in Section 10 Signs.
- a. Permit required for any new EMC sign or for the conversion of a non EMC sign to an EMC sign.
  - b. Sign Type. Any sign containing an EMC shall be a low-profile freestanding sign or a wall sign.
  - c. Sign Design.
    - i. The EMC portion of a sign shall be set off from the edge of the sign by a 6-inch frame and such portion of the sign shall be fully integrated into the overall sign design.
    - ii. The background of the EMC shall be black with contrasting lettering.
    - iii. The area of the sign dedicated to the EMC shall not exceed 60% of the total area of the sign face.
  - d. Maximum Number per Property. One (1) EMC is permitted per property.
  - e. Nonconforming. The addition of any EMC to a nonconforming sign is prohibited.
  - f. Message Display.
    - i. Any EMC display containing animation, streaming video, text, or images that flash, blink, pulsate, move, scroll, or otherwise emit intermittent light or make noise is prohibited.
    - ii. Each message must fit on one screen and shall change at once.
    - iii. The content of a display must transition by changing instantly within two (2) seconds, with no transition graphics (e.g. no fade-in or fade-out)
    - iv. The sign shall contain a default design which shall freeze in one position or go black should a malfunction occur.
  - g. Message Duration. EMC signs are permitted provided that the static display does not change more than once every eight (8) seconds.
  - h. Curfew.
    - i. In a residential district the sign shall be turned off at 10.00 p.m. or at close of business, whichever is later, and remain off until one hour before sunrise.
    - ii. In a non-residential district the sign shall be turned off or remain static at 11.00 p.m. or one (1) hour after close of business, whichever is later, and remain off or static until one hour before sunrise.

- i. Brightness. Message center signs are subject to the following brightness limits.
  - i. During night hours, which commence no later than one hour after sunset, luminance levels shall not exceed 100 cd/m<sup>2</sup>.
  - ii. At all other times, luminance shall be no greater than 3,000 cd/m<sup>2</sup>.
  - iii. Each sign must have a light sensing device that is capable of automatically and gradually adjusting the display intensity to natural ambient light conditions.
  - iv. At the time of installation, each sign owner or operator shall certify to Howland Township that the sign complies with luminance standards.
- j. Public Service Announcements (PSA). The owner of an EMC sign is encouraged to coordinate with the local authority to display, when appropriate, emergency information important to the traveling public including, but not limited to Amber Alerts or alerts concerning natural disasters. The PSA shall remain in rotation in accordance with the instructions of the agency that issues the information.
- k. Signs that are interior to a site or sporting facility, regardless of zoning district, are not subject to the same restrictions as signs directed at vehicular traffic.
- l. Mobile or temporary EMC sign is not permitted.

**B. Temporary Signs on Non-Residential Lots**

- 1. One (1) temporary sign is permitted per lot during the time when either a building or building addition is under construction or when a vacant interior space is under construction for an anticipated tenant. The sign face shall not exceed thirty-two (32) square feet in area. If no permanent freestanding sign is present on the lot, the temporary sign may be freestanding, with maximum height of eight (8) feet and set backs at least fifteen (15) feet from the public right-of-way and ten (10) feet from all other property lines. If a permanent freestanding sign is present on the lot, a temporary sign may exist provided that the temporary sign is a wall sign.
- 2. One (1) temporary sign during two (2) periods of time in one (1) calendar year, each period of time not exceeding thirty (30) days. One sign is permitted per lot and shall not exceed thirty two (32) square feet in area, and shall not exceed seven (7) feet in height and shall be setback fifteen (15) feet from the street right-of-way. These signs shall not have affixed an axle, wheels or tongue, and shall not have any lighting device.
- 3. One commercial banner is permitted for a period of sixty (60) consecutive days in a calendar year and shall not exceed sixty (60) square feet in area. Said banner shall advertise only products sold on the premises upon which the sign is located. The banner must be firmly affixed to the building.

**SECTION 10.5 AUTHORIZED SIGNS. SIGN PERMIT NOT REQUIRED**

The following signs may be displayed in compliance with the provisions of this Section. No sign permit is required.

**A. Residential Districts**

- 1. Permanent Signs

- a. Two (2) wall or freestanding signs, maximum two (2) square feet, maximum height of three (3) feet, for the purpose of identifying the property address and/or name only
2. Temporary or Limited Duration Signs
  - a. Window signs, maximum six (6) square feet, bearing non-commercial speech.
  - b. Wall or freestanding signs, maximum six (6) square feet per side, maximum five (5) feet in height; minimum five (5) feet setback from all property lines, bearing non-commercial speech.
  - c. Limited Duration Signs. One (1) freestanding sign, maximum sign area of six (6) square feet per side, maximum two (2) sides, maximum five (5) feet in height, and shall be setback a minimum of five (5) feet from all property lines. The sign shall not be illuminated and must pertain to the parcel upon which it is located.

**B. CRD, HC, Commercial and Industrial Districts**

1. Permanent Signs. All permanent signs in business districts require permits.
2. Temporary Signs
  - a. One (1) wall or freestanding temporary sign, maximum six (6) square feet per side, maximum five (5) feet in height for purposes of noncommercial speech only.
  - b. Sidewalk Signs. CRD, Commercial, and HC Districts only. One (1) freestanding temporary sign per business space, maximum six (6) square feet per side, maximum four (4) feet in height, must be located within ten (10) feet of the building and at least sixty (60) feet from any public right-of-way or property line.
  - c. Limited Duration Signs. One (1) freestanding sign per parcel, maximum sign area of sixteen (16) square feet per side, maximum two (2) sides, maximum six (6) feet in height, and shall be setback a minimum of five (5) feet from all property lines. The sign shall not be illuminated and must pertain to the parcel upon which it is located.
3. Window Signs.
  - a. Each business may have window signs provided they do not cover more than twenty (20) percent of each window surface.
  - b. The window signs shall be so located as to allow clear visibility into the building for the purposes of fire and police protection.
  - c. Window signs that are permanent in nature shall be subject to the sign permit standards for permanent wall signs.

**C. Other Exemptions from Permitting Requirements**

1. Government or regulatory signs
2. Historical markers or commemorative signs
3. Signs inside a building which are not meant to be viewed from the outside
4. Holiday and seasonal decorations
5. Private drive signs. One (1) per driveway entrance not to exceed two (2) square feet in area.
6. Security or warning signs
7. Flags, except those displaying logos or commercial advertising.

## SECTION 10.6 PROHIBITED SIGNS

The following sign types shall be prohibited.

- Roof-mounted Signs. No sign shall be placed on the roof of any building. No sign shall extend above any part of a roof except where mounted on a wall or vertical parapet located above a lower roof section such as a porch roof.
- Moving Devices.
  1. No sign shall include or employ any parts or elements which do or appear to revolve, rotate, whirl, spin, or otherwise make use of motion to attract attention.
  2. Except as otherwise specifically permitted by this Resolution, no sign or part thereof shall contain or consist of banners, posters, pennants, ribbons, streamers, spinners, or other similar devices installed in a manner that permits movement.
- Electronic Message Center Sign that is mobile or temporary.
- Inflatable Signs. No sign, sign supports or other elements shall be constructed or supported by inflation by air or other gases.
- Vehicle Signs. Signs placed on vehicles or trailers that are parked or located for the primary purpose of displaying such signs. No sign shall be permitted to be displayed while mounted on wheels.
- Advertising Flags. Flags intended for advertising or commercial purposes.
- Pole signs
- Snipe or bandit signs
- Pennant strings and streamers
- Animated signs, flashing signs, or signs that scroll, flash text or graphics
- Any sign made to imitate, resemble, interfere with, or obstruct official traffic lights, signs, or signals.
- Signs that prevent free ingress or egress from any door, window, fire escape, or that prevent free access from one part of a roof to another. No sign shall be attached to a standpipe, suppression system, or fire escape.
- Signs that emit smoke, visible vapors, particulate matter, sound, odor, or contain open flames.
- Reflective signs or signs containing mirrors, except that address signs may be reflective.
- Interactive signs
- Signs incorporating beacon or festoon lighting
- Any sign promoting an illegal activity
- Any sign containing information which states or implies that a property may be used for any purpose not permitted under the provisions of the Howland Township Zoning Resolution.
- Any sign that imitate, resemble, interfere with, or obstruct official traffic light, sign, or signal.
- Sign that exhibits statements, words, or pictures of obscene or pornographic subjects as determined by Howland Township.

# SECTION 11 PARKING FACILITIES

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## SECTION 11.1 PURPOSE

The purpose of this section is to promote the safety and welfare of the public by regulating the design of off-street parking and loading facilities to prevent or mitigate the impacts of vehicular congestion on public streets, to provide adequate and safe pedestrian access, to encourage the coordination of facilities, to minimize the impacts of parking and loading facilities on adjacent properties, and to minimize the impacts of parking on the natural environment.

## SECTION 11.2 COMPLIANCE REQUIRED; APPLICABILITY

Accessory off-street parking facilities and access driveways shall be provided prior to occupancy of any building or use in compliance with the provisions of this Section 11. Parking Facilities whenever.

- A. A building is constructed.
- B. The use of an existing building or lot is changed to a use requiring more parking facilities.
- C. An existing building is altered in a manner that results in a greater requirement for parking facilities to comply with the provisions of this Section.

## SECTION 11.3 PARKING SPACES REQUIRED

- A. **Responsibility.** In all cases, the property owner and occupants shall be responsible for providing parking suitable to meet the parking demand generated by uses on the site in a manner that prevents undue parking impacts on adjacent properties and public rights-of-way.
- B. **Parking Spaces Provided.** Parking spaces shall be provided as required for the uses listed in Table 11.3 or as otherwise authorized in Section 11.
  - 1. For any business or service conducted on the same property in conjunction with a primary use, the foregoing schedule and other provisions of this Section shall be applicable to determine additional parking requirements.
  - 2. GFA = Gross Floor Area, meaning the total floor area of a building
  - 3. For a specific use or building, not scheduled in Table 11.3, the Zoning Administrator shall apply the unit measurement from Table 11.3 deemed most similar to the proposed use or building.

4. Where a use is not deemed sufficiently similar to a listed use, then the applicant shall submit information sufficient to demonstrate the parking demand typical of the proposed use. Such information may be industry studies, documented parking demand of the same use in a similar location, or other.

**C. Surplus Parking<sup>28</sup>** – The Zoning Administrator and Howland Township Engineer may approve an alternative parking plan that authorizes parking spaces in excess of the maximum number required in Table 11.3 in accordance with the following.

1. The total number of parking spaces approved shall not exceed one hundred and fifty percent (150%) of the parking maximum.
2. All of the approved excess parking spaces plus aisle ways shall be subject to preferred best management practices (BMPs) in storm water management.
3. Preferred best management practices (BMPs) address both water quality and volume reduction and include pervious pavement and bio-retention cells or similar BMPs.
4. These requirements are in addition to the minimum stormwater requirements of the State of Ohio, Trumbull County, and Howland Township.
5. Howland Township may authorize on a case-by-case basis the use of BMPs outside the parking area, but still part of the current development site, provided that.
  - a. The applicant clearly demonstrates that the preferred BMP's are not feasible within the parking area;
  - b. The alternative BMPs are accepted by Howland Township and the Trumbull County Soil & Water Conservation District; and
  - c. An area equal to one and one-half times the area of the approved excess parking spaces plus aisle ways shall be treated by accepted BMPs.

**D. Maintain Minimum.** In all districts, minimum requirements of off-street parking applicable to any use or building shall continue unchanged in operation and shall not be reduced below the required size as long as the main use remains, unless an equivalent number of parking spaces is provided for said use in another approved location.

**Table 11.3 PARKING SPACES REQUIRED**

Uses	Parking Spaces Required	
	Minimum Spaces	Maximum Spaces
Single-family or two-family dwelling	Two (2) spaces per dwelling unit.	NA
Multi-family dwellings	One (1) parking space per unit with one bedroom and for each efficiency living unit. One and one-half (1-1/2) parking spaces for each living unit having more than one bedroom. At least one of the 1.5 spaces shall be enclosed in a garage. One (1) parking space shall be provided for each four (4) living units of all sizes for visitor parking.	NA
Free Standing Retail	1 spaces per 1000 GFA	3 spaces per 1000 GFA
Large Scale Retail	2 spaces per 1000 GFA	4 spaces per 1000 GFA
Shopping Center	3 spaces per 1000 GFA	4 spaces per 1000 GFA
Personal Services	2 spaces per 1000 GFA	3 spaces per 1000 GFA
Bank	2 spaces per 1000 GFA	4 spaces per 1000 GFA
General Office Building	2 spaces per 1000 GFA	4 spaces per 1000 GFA

<sup>28</sup> Section added October 23, 2015

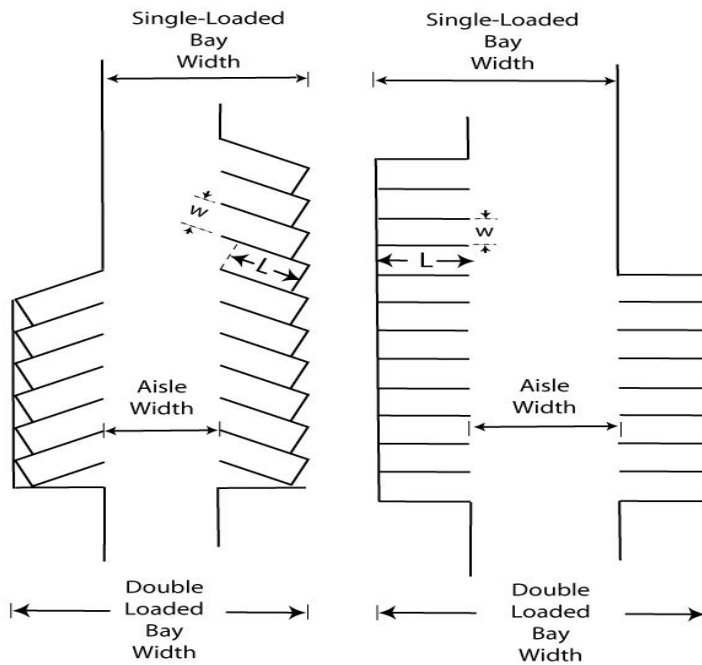
Medical Office Buildings	2 spaces per 1000 GFA	8 spaces per 1000 GFA
Restaurants including Drive-up or Drive-thru	6 spaces per 1000 GFA	10 spaces per 1000 GFA
Places of Assembly, including Social Clubs, Fraternal Clubs, Places of Worship, Theaters, Auditoriums, Stadiums, and similar uses	1 space per 5 seats in the portion of the building used for assembly	1 space per 3 seats in the portion of the building used for assembly
	For Places of Assembly, the above minimum and maximum standards shall be general guidelines only. The applicant shall comply with the above standards or submit information which demonstrates the parking demand typical of the proposed use. Such information may be industry studies, documented parking demand of the same use in a similar location, or other.	
Industrial Plant	1 spaces per 1000 GFA	2 spaces per 1000 GFA

## SECTION 11.4 PARKING DESIGN STANDARDS

- A. Location.** All R-A-1, R-A-2, CRD-OI, CRD1, CRD2, HC, MXD and C District uses shall provide off-street parking facilities outside the public right-of-way and not more than three hundred (300) feet distance from the entrance to said establishment.
- B. ODOT Standard Curbing Required in all districts.**
- All parking lots shall be surrounded by concrete curbing. This curbing should meet ODOT "Type 6" standards.
  - All or parts of curbs may be waived by the Zoning Administrator where necessary to permit stormwater treatment through vegetated features or other approved stormwater best practices.
- C. Parking Area Materials.** Parking area materials shall consist of concrete, asphalt, or porous pavers. Gravel may be used in the Industrial and Manufacturing Zoning District.
- D. Parking Space and Aisle Dimensions.** All parking spaces and aisles shall have the minimum dimensions shown in the table on the next page in Figure 11.4 Parking Dimensions, except for the following:
- Up to twenty-five percent (25%) of the total spaces may be constructed and marked as compact car spaces with a minimum width of eight (8) feet and a minimum length of seventeen (17) feet. To the extent possible, compact cars shall be located in groups.
  - Parking spaces not necessary for customers or visitors to the site and reserved for employee parking may be constructed with compact car space dimensions.
  - Additional spaces with dimensions and pavement suitable for motorcycle parking are encouraged.
  - One or more bicycle posts or racks that can accommodate at least four bicycles at one time shall be installed within 50 feet of the main entrance of the building.

Figure 11.4 Parking Dimensions

## PARKING SPACE & AISLE DIMENSIONS



Parking Angle (Degrees)	W Minimum Parking Space Width (Feet)	L Minimum Parking Space Length (Feet)	Minimum Aisle Width (Feet)	Single Loaded Bay Width (Feet)	Double Loaded Bay Width (Feet)
0	9.0	21.0	18.0 22.0 *	26.5 30.5 *	29.0 39.0*
45	9.0	18.0	18.0	31.25	48.5
60	9.0	18.0	18.0	32.25	51.25
90	9.0	18.0	22.0 *	40.0 *	58.0*

\* Two-way traffic permitted

### E. Parking Lot Landscaping.

1. Large, unbroken parking areas shall be avoided. Whenever a parking lot contains thirty (30) or more spaces, at least five percent (5%) of the parking lot area (the area measured within a boundary containing all parking spaces) shall be landscaped islands and/or peninsulas.
2. Landscape islands and peninsulas within a parking lot shall be at least 10 feet wide, including curbs. Except for aisles, pavement surfaces shall not exceed 100 feet in width or length and shall be segmented by landscaped yards, islands, or peninsulas. Adjacent parking bays shall be separated by a landscape strip at least ten (10) feet wide.
3. An alternative configuration to the landscape area requirement in Section E(2) above may be approved by the Zoning Administrator, provided that the sum of the landscape areas required are distributed through the parking lot in a manner consistent with the intent of this section.
4. Plant material installation is encouraged in locations that will screen parking areas from public view.

5. Landscape areas and parking lot islands are strongly encouraged to be designed to intercept and treat pavement stormwater through vegetated features such as bio-retention, vegetated swales, enhanced swales, dry swales, bio-swales or other stormwater management best practices. Where necessary to permit the installation and operation of such features, the Zoning Administrator is authorized to waive or approve alternatives to the requirements of subsections C(1) through C(4) above.
6. Parking Lot Vegetation shall be installed in accordance with [Section 12 Landscaping and Buffers](#).

**F. Electric Vehicle Charging Stations (EVCSs) in Parking Areas<sup>29</sup>.**

1. These standards are applicable to all new or expanded parking areas except in private residential applications for personal use.
2. The dimensions of each EVCS space shall not be less than what is prescribed in Section 11.4 Parking Design Standards.
3. EVCS are reserved for parking and charging electric vehicles only.
4. An EVCS parking space does not count toward maximum parking requirement. The parking space shall be a fully-functioning EVCS, installed in accordance with these regulations.
5. Make-ready standards.
  - a. It is strongly encouraged that new and expanded parking areas provide the electricity capacity necessary to accommodate the future hardwire installation of EVCS.
  - b. Make-ready standards require installing the main electrical panel with sufficient space and capacity to support the proposed number of EV spaces with a dedicated branch circuit raceway and overcurrent protection device for every EVCS space. An electrical panel load calculation is required to demonstrate panel capacity.
6. Location and Design Criteria. Where provided, parking for electric vehicle charging purposes is required to include the following.
  - a. The EVCS shall be located on the same lot as a principal use, unless specifically permitted as a principal use.
  - b. The EVCS shall be maintained in all respects, including the functioning of the charging equipment.
  - c. The following information shall be posted at each EVCS where it is immediately visible to the parking space. Each EVSC shall have a sign not to exceed 24 inches by 24 inches in size.
    - i. Voltage levels;
    - ii. Hour of operations if time limits or towaway provisions are to be enforced by the property owner;
    - iii. Usage fees;
    - iv. Safety information;
    - v. Contact information for reporting when the equipment is not operating or other problems

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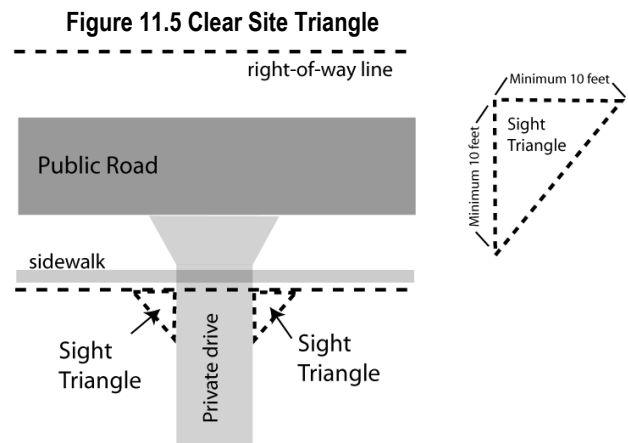
<sup>29</sup> Updated Feb 7, 2025

- d. The charging station outlet and connector shall be no less than 36 inches and no higher than 48 inches from the ground or pavement surface where mounted and shall contain a retraction device or a place to hang permanent cords and connectors at a sufficient and safe distance above the ground or pavement surface. Lighting posts, equipment mounted on pedestals, or other devices related to an EVCS installation shall be designed and located so as not to impede pedestrian travel or create trip hazards.
- e. Adequate charging station equipment protection such as concrete-filled steel bollards shall be used. Non-mountable curbing may be used in lieu of bollards if the charging station is setback a minimum of 24 inches from the face of the curb.
- f. EVCS shall require safety lighting. Such lighting shall automatically provide illumination for the EVCS during dark hours such that charging cables, EVSE's, and other charging infrastructure near the EVCS is plainly visible and does not pose a trip, or other safety hazard.

## SECTION 11.5 VEHICULAR ACCESS STANDARDS

**A. Access ways to Parking Area.** The location and width of entrance and exit driveways to parking areas shall be planned as to not interfere with the use of adjoining or nearby property and with pedestrian and vehicular traffic on adjacent streets.

**B. Clear Sight Triangles.** Sight triangles at points of ingress and egress shall be free of plantings, signs or other objects that will obstruct traffic views. Minimum dimensions of sight triangles shall be as illustrated at right. Clear visibility for drivers shall be maintained in the area between the heights of 3.5 to 8.0 feet above the centerline of grades of the intersecting road surface. See Figure 11.5.



## SECTION 11.6 PEDESTRIAN ACCESS STANDARDS

**A. Sidewalks and walkways shall be provided and maintained in the following locations.**

1. Connecting on-site parking to on-site buildings
2. Connecting the building's main entrances to the public right-of-way
3. Connecting site-to-site for inter-site pedestrian movement shall be encouraged
4. Along a public street in accordance with this Section.

**B. Sidewalks along a public street** <sup>30</sup>

<sup>30</sup> Section added October 23, 2015

1. Any use or building subject to the provisions of this Section and located within the priority pedestrian corridors shall be required to install a sidewalk along all public streets for the full length of street frontage.
2. Priority pedestrian corridors include.
  - a. Niles-Cortland Road SE between East Market Street and the Township boundary.
  - b. Niles-Cortland Road NE between East Market Street and the Township boundary.
  - c. North River Road between Niles-Cortland Road NE and State Route 82 (bypass).
  - d. East Market Street between North Road and the Township boundary
3. All sidewalks shall meet the pedestrian facility design guidelines and pavement specifications of the Ohio Department of Transportation.
4. All sidewalks shall be a minimum of 5-feet in width.
5. There shall be a grass buffer separating the sidewalk from the edge of roadway of at least 6 feet in width or the maximum width possible given the available right-of-way.

**C. Walkway Connections to Public Sidewalks**

1. Where a sidewalk exists in a public right-of-way adjacent to the site, or is required to be constructed as part of the development approval, a pedestrian connection shall be constructed from the building to the sidewalk.
2. The pedestrian connection shall be constructed of asphalt, concrete, or of hard surface pavers.
3. The pedestrian connection shall have a minimum width of 5 feet.

**SECTION 11.7 OFF-STREET LOADING AREAS**

- A.** Loading and unloading off-street facilities and standing space shall be provided for all business and commercial enterprises hereafter erected or altered for such use. The entire area of such facility shall be located to the rear of the set-back building line scheme that is applicable or has been established for the street or road on which the facility is located. Said facility shall be of such size to accommodate any truck or vehicle of a size generally serving said business or enterprise. Where loading facilities are located in proximity to a residential use or residential zoning district, fencing and landscaping shall be installed to mitigate appearance and noise impacts.
- B.** At least one (1) off-street loading and unloading facility shall be provided for each use or building devoted to any business or commercial enterprise having a building floor space or use space of fifteen thousand (15,000) to twenty-five thousand (25,000) square feet. One (1) additional facility shall be added for each additional twenty thousand (20,000) square feet of building floor space or use space or fraction thereof; said off-street loading and unloading facilities shall be maintained as long as the building or use is maintained.

**SECTION 11.8 JOINT PARKING AREAS**

- A.** Parking spaces which are designated to comply with the requirements for one building or use shall not be counted as fulfilling the parking requirement for another building or use except as permitted in this section or where a parking standard is clearly intended to apply to multiple uses of structures on a single site, such as multiple family dwellings and shopping centers.

- B.** The Zoning Administrator may approve the joint use of a reduced number of parking spaces by two or more buildings or uses when the applicant demonstrates to the satisfaction of the Zoning Administrator and the Township Engineer the following:
1. On-site Joint Parking. That the parking demand for two or more uses on a single lot can be satisfied by fewer spaces than required (the sum of the spaces required for the uses if computed separately) due to varying parking demand; or
  2. Off-site Joint Parking. That the spaces required for a use can be provided on an adjacent or nearby lot which complies with all other provisions of this Resolution. Binding agreements shall be made between the owners of the use and/or building and the owners of the parking, to ensure the perpetual joint use and maintenance of the shared parking areas, even upon transfer of ownership. The binding agreement shall specify the parking spaces that shall be shared.

## SECTION 11.9 PARKING RESERVES

- A.** The Zoning Administrator may authorize the construction of fewer parking spaces than required by Table 11.3 if the anticipated parking demand for the proposed building or use is substantially less than required.
- B.** The applicant shall submit justification for a lesser anticipated parking demand. The justification may be based on information demonstrating the parking demand typical of the proposed use. Such information may be from industry studies, documented parking demand for the same use in a similar location, or other sources.
- C.** An area shall be reserved on the lot which is sufficient for the future construction of ~~the~~ reserve spaces, aisles, and other improvements required to provide conforming parking. This area shall be landscaped.

## SECTION 11.10 BUSINESS DISTRICT PARKING (APPLICABLE TO HC, C, CRD-OI, CRD1, CRD2, MXD)

- A.** Vehicles owned, operated, or otherwise controlled by a business on a lot shall not be parked in the front of the business or the front yard.
- B.** Except where specifically authorized for such use, parking lots shall not be used for the display of vehicles for sale and shall not be used for automobile service or repair.

# SECTION 12 LANDSCAPING AND BUFFERS<sup>31</sup>

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## SECTION 12.1 PURPOSE

This Section aims to protect the public interest, prosperity, general welfare, and comfort of the community by providing the regulatory framework to require reasonable landscaping that is economically beneficial in attracting and retaining businesses, visitors, and residents to the township. These regulations also aim to enhance the character of the township's business corridors while being protective of the privacy and quality of life of residents.

## SECTION 12.2 APPLICABILITY

### A. Landscaping and Buffer Applicability.

1. These regulations are applicable to all zoning districts except single-family dwellings in single-family residential (R-1) zoning district.
2. New development or redevelopment of a site.
3. The creation of a new parking area or the expansion of a parking area.
4. The buffer regulations shall apply to all new developments and the expansion of non-residential structures that will decrease the setback between the structure and the residential zoning district.
5. All new ground-mounted signs.

## SECTION 12.3 LANDSCAPING AND BUFFER PLAN

- A. **Plan Required.** Any property to which this Section applies shall illustrate all proposed landscaping and buffer, including the proposed landscaping material, on a site plan or on a separate buffer plan as part of the application for a Zoning Certificate.
- B. **Table.** All plans shall include a table listing the existing plant material that will be retained and all proposed plant materials within the landscaping and buffer areas. This shall include the common and botanical names, sizes and other remarks as appropriate to describe the landscaping material selection.
- C. **Planting Details.** Details shall be provided showing the proper planting of trees, shrubs, and ground cover within the landscaping and buffer areas.
- D. **Zoning Certificate.** No zoning certificate will be approved without the approval of a landscape and buffer plan.

<sup>31</sup> Section added Feb 7, 2025

## SECTION 12.4 LANDSCAPING MATERIALS AND STANDARDS

- A. General Location.** Landscaping shall be installed in locations that, when mature, do not interfere with motorist sight distance or overhead utility lines, obstruct traffic signs or lights, or interfere with access to fire hydrants.
- B. Existing Landscape Material.** Existing healthy landscape material may be used to satisfy the requirements of this Section in whole or in part, provided that the landscaping materials meet minimum standards. Existing site vegetation shall be preserved as much as possible.
- C. Landscape Materials**
1. Trees shall be balled and burlapped or in containers. Shrubs and ground covers can be planted bare-root, balled and burlapped, or in containers.
  2. Deciduous trees shall have a minimum of 2.5 inches DBH at planting.
  3. Ornamental trees shall have a minimum height of 5 feet or a minimum caliper of 2.5 inches DBH at planting.
  4. Evergreen trees shall be a minimum of 6 feet in height at planting.
  5. Shrubs shall be at least 36 inches tall at planting unless otherwise specified in this regulation.
  6. Ground cover and grasses shall be of a species normally grown in Trumbull County, Ohio. Areas subject to erosion shall be sown with sod for immediate erosion protection. Grass and sod shall be free of weeds and disease. Ground cover shall be spaced to provide 80% coverage after two years.
  7. Native plants are encouraged. Plants on the latest Ohio Invasive Plant List published by the Ohio Department of Agriculture are prohibited.
  8. A diversity of trees and shrubs shall be used.
- D. Multi-Family Landscaping Standards (R-2, RA-1, RA-2, R-CH, PUD, and MXD)**
1. Minimum Landscaping. One deciduous tree that is a minimum of two and one-half (2.5) inches as measured four and one-half (4 ½ ) feet above ground level, and that is indigenous to the soils in the area and six (6) shrubs shall be planted for each dwelling unit. This requirement is in addition to minimum buffer requirements
  2. For multi-family projects exceeding four (4) structures, extensive tree planting, and landscaping shall be utilized at the entrances to the proposed development. Trees, flower beds, and other landscaping shall be utilized within street medians and cul-de-sacs.
- E. Building Landscape Standards in Business Districts**
1. Applicable to all Business Districts except Industrial and Manufacturing
  2. Building Landscaping shall consist of an adequate planting area containing a diversity of species, of varied heights, planted in a manner to soften the building.
- F. Streetscape Landscape Standards in Business Districts**
1. Applicable to all Business Districts except Industrial and Manufacturing
  2. The streetscape landscape area includes, at minimum, the first 10 feet of green space from the street right of way, depending on the district's parking setback requirements.

3. A minimum of one canopy tree for every 40 feet of lot frontage is required. See Figure 12.4.1 The planting does not have to be equally spaced along the street frontage; however, it must be planted along the street frontage. Where conflict with an overhead utility line is an issue, ornamental trees can be substituted; however, their planting ratio is one ornamental tree every 30 feet of street frontage.

**Figure 12.4.1 Streetscape**



4. A minimum of 10% of the front yard green space shall be landscaped in flowers, shrubs, or ground covers. The sign landscape area can count towards this total if the sign is located in the front yard area.

**G. Parking Area Landscaping Standards**

1. Large, unbroken parking areas shall be avoided. Whenever a parking lot contains thirty (30) or more spaces, at least five percent (5%) of the parking lot area (the area measured within a boundary containing all parking spaces) shall be landscaped islands and peninsulas.
2. Landscape islands and peninsula medians shall be at least 10 feet wide, including curbs.
3. Except for aisles, pavement surfaces shall not exceed 100 feet in width or length and shall be segmented by landscaped islands or peninsula medians as shown in Figure 12.4.2.
4. Adjacent parking bays (4 parallel rows) shall be separated by a landscaped median.
5. The minimum requirements for parking lot area vegetation are two (2) trees and six (6) shrubs for every ten (10) parking spaces.

**Figure 12.4.2 Parking Lot Landscape Islands**



6. An alternative configuration to the landscape requirement in subsection may be approved by the Zoning Administrator provided that the sum of the landscape areas required are distributed through the parking lot in a manner consistent with the intent of this section.
7. Landscape areas and parking lot islands are strongly encouraged to be designed to intercept and treat pavement parking area stormwater through vegetated features such as bio-retention, vegetated swales, enhanced swales, dry swales, bio-swales or other stormwater management best practices. Where necessary to permit the installation and operation of such features, the Zoning Administrator is authorized to waive or approve alternatives to the requirements of [Section 12.4\(F\)](#).
8. Where a parking area is constructed adjacent to the front yard area of an R-1 or R-2 District, a fence or hedge row not exceeding a height of three feet (3') shall be installed that blocks the view of parked cars and headlights

**H Natural Stormwater Management Areas**

1. The creation of natural stormwater management areas (e.g., rain gardens and bioswales) may be used as a method of complying with the requirements of this article.
2. Any natural stormwater management areas must be identified on the applicable landscaping plan.
3. Such areas shall not include disturbed lands that are reseeded with grass or turf alone. The landscaping plan shall illustrate how any disturbed areas will be vegetated to recreate a natural meadow or establish a natural stormwater management area
4. The landscaping plan shall include a maintenance plan for any natural stormwater management areas.

**I. Sign Area Landscaping Standards**

1. Approved year-round landscaping shall be installed and maintained around the base of a new freestanding or ground-mounted sign.
2. A ground area adjacent to the base of the sign, equal to at least the sign area, shall be covered with mulch or groundcover plants.
3. At least one (1) deciduous and one (1) evergreen shrub no taller than 24 inches shall be planted for every ten (10) square feet of sign area.
4. The landscape materials required herein can count toward the overall site requirement for landscaping.

**SECTION 12.5 REQUIRED BUFFERS**

**A. Planting Requirements for Required Buffers**

1. Buffers shall include, at a minimum.
  - a. A 6-foot high fence or wall or an earth mound/earth berm; and
  - b. Three (3) evergreen trees and 6 shrubs for every 60 lineal feet of lot line requiring a buffer.
2. In lieu of a fence, wall, or earth mound/berm, an applicant may provide a natural buffer of the following.
  - a. Six (6) evergreen trees, planted in an offset manner to provide a solid buffer for every 60 lineal feet of lot line requiring a buffer; and
  - b. Ten (10) shrubs for 60 lineal feet of lot line requiring a buffer.

**B. Buffer Design Standards**

1. Buffers shall not be located on any portion of an existing, dedicated, or reserved public right-of-way or private ingress/egress easement.
2. The buffer shall be provided on the lot with the most intense use.
3. Earth mounds may be used as buffers. However, differences in natural elevation between areas requiring a buffer do not constitute an earth mound. Earth mounds shall be constructed of earthen materials and shall conform to the following.
  - a. Earth mounds shall conform with steep slope or grading requirements.
  - b. Berms and earth forms shall be designed with physical variations in height and alignment throughout its length.
  - c. Landscaping plant materials may be installed on berms and earth mounds and shall be arranged in an irregular pattern to accentuate the physical variation and achieve a natural appearance.
  - d. Berms and earth mounds shall be located and designed to minimize the disturbance of existing trees located on the site or adjacent thereto.
  - e. Adequate ground cover shall be used and maintained to prevent erosion of the earth mound.

**Section 12.6 MAINTENANCE**

- A.** All landscaping materials shall be installed and maintained. The property owner is responsible for the continued maintenance of all landscaping materials and shall keep them in a proper, neat, and orderly appearance, free from refuse and debris and relatively weed-free at all times.
- B.** Unhealthy and dead plants shall be replaced within one year or by the next planting season, whichever comes first.
- C.** Violation of these maintenance practices shall be a violation of this Zoning Resolution.

# SECTION 13 SOLAR AND WIND ENERGY SYSTEMS<sup>32</sup>

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## SECTION 13.1 PURPOSE

Howland Township recognizes the importance of clean and renewable energy resources in reaching the sustainability goals identified in the Howland Comprehensive Community Plan. This section aims to promote the public's health, safety, and welfare by providing the regulatory framework for renewable energy systems in Howland Township while improving the environment and maintaining the community's character. Howland Township acknowledges the need to protect adjacent properties and the public from unnecessary and unreasonable visual, sound or light effects of solar or wind energy systems.

## SECTION 13.2 APPLICABILITY

- A. Solar energy systems, which require a zoning certificate, are permitted in all zoning districts per Sections 13.3 and 13.4 of this Resolution.
- B. A solar energy system is considered an accessory use in all zoning districts.
  - 1. A building-mounted solar energy system is permitted in all zoning districts in accordance with the development standards found within this section and other referenced sections of this Resolution.
  - 2. A ground-mounted solar energy system is permitted on unplatted residentially-zoned land greater than 1 acre in size and in all non-residential zoning districts.
  - 3. Systems smaller than two square feet are exempt from these regulations.

## SECTION 13.3 GENERAL REQUIREMENTS

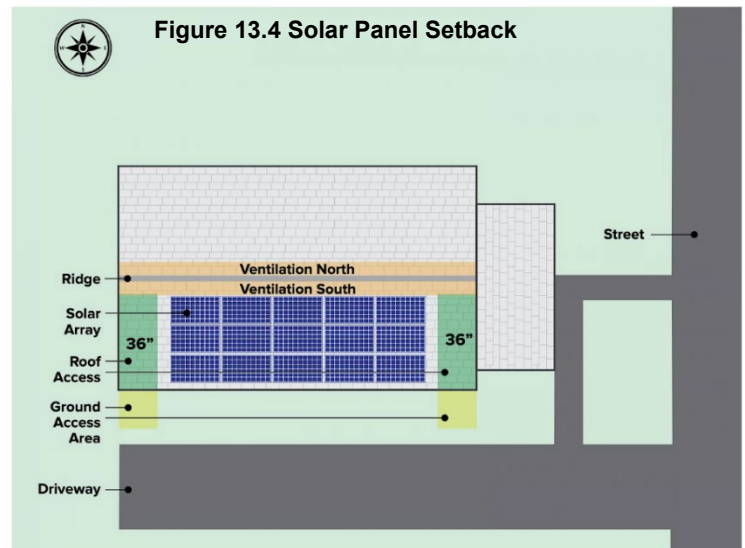
- A. The applicant or owner is responsible for acquiring all necessary reviews and approvals from other applicable agencies, including the Trumbull County Building Inspection Department.
- B. Height and glare restrictions of the [Youngstown Air Reserve Station Comprehensive Plan for Military Compatibility](#) shall apply.
- C. Any non-functioning solar or wind energy system that has been non-functional for six consecutive months shall be deemed abandoned. The Zoning Administrator may order the repair or removal of the system in accordance with these provisions. The owner, applicant, or another person responsible for the system shall repair or remove the system within 90 days of the date of the notification.
- D. All signs, both temporary and permanent, are prohibited on solar or wind energy systems except:
  - a. Manufacturer or installer identification information on the system shall be limited to

<sup>32</sup> Section added Feb 7, 2025

- two square feet.
- b. Appropriate warning signs and placards.
- E. A net metering agreement may be required from the electric supplier if the system is proposed to be connected to the power grid.

## SECTION 13.4 SOLAR ENERGY SYSTEM DEVELOPMENT STANDARDS

- A. A solar energy system may be freestanding (ground-mounted) or building-mounted.
- B. Building-mounted solar energy systems may be mounted on a principal or accessory structure.
  - 1. A roof-mounted solar energy system is permitted, provided it meets the following standards.
    - a. Shall not exceed the maximum building height of the structure upon which it is affixed;
    - b. Front-facing solar energy systems are discouraged. However, if limited options exist, front-facing mounted systems shall be installed flat to the roof plane.
    - c. Side-facing solar energy systems shall be installed flat to the roof plane.
    - d. Rear-facing mounted systems, or systems installed on a flat roof, can be tilt-mounted to a maximum height of 48 inches from the roof plane and shall not be seen from the street.
    - e. In some non-residential zoning districts, architectural screening may be required to block the view of a flat roof-mounted system from the street.
    - f. For residential roof-mounted solar energy systems, a 36-inch clear pathway from the bottom roof edge to the ridge and an 18-inch setback on both sides of the roof ridge shall be maintained or as required by the current fire code, whichever is more restrictive. (See Figure 13.4 Solar Panel Setback)
    - g. For non-residential roof-mounted solar energy systems, a 6-foot perimeter pathway around roof edges shall be maintained or as required by the current fire code, whichever is more restrictive.
    - h. Architectural solar tiles do not require clear pathways.
    - i. Roof-mounted solar energy systems should be installed directly into roof trusses to minimize damage to the roof.
  - 2. A façade-mounted (awning) solar energy system is permitted provided it meets the following standards.
    - a. Shall not extend more than 48" from the structure wall.



Credit: NYSDA's New York Solar Guidebook - Rooftop Ventilation Access

- b. Shall not be installed on front or side façade on a corner lot except in non-residential zoning districts.
  - c. Shall not be closer than five feet from any property line.
3. Where permitted, a ground-mounted solar energy system shall be installed in accordance with the following.
- a. Shall be located in the rear yard in compliance with applicable accessory structure setback requirements for the zoning district, including all associated solar energy system components and equipment.
  - b. Shall not exceed a maximum height of 12 feet above existing grade in residential zoning districts where these systems are permitted and 16 feet above existing grade in non-residential zoning districts.
  - c. Shall not exceed 200 square feet in total area in residential zoning districts where these systems are permitted and 300 square feet in non-residential zoning districts. There is no size limit in the industrial zoning district.
  - d. The solar energy system shall have an anti-reflective coating to control glare.
  - e. Solar energy systems visible from the street or adjacent residential neighbors require a buffer of evergreen landscaping or fencing to buffer the view of the system to the greatest extent possible.

**C. General Standards Applicable to all solar energy systems**

- 1. All electrical and plumbing lines shall be in conduit and painted the color of the building to which it is affixed. They shall be installed in a manner meant to reduce their visibility from the street or adjoining properties. All plumbing and conduit shall be buried underground for ground-mounted solar energy systems.
- 2. Solar energy system support equipment shall not be located in a front yard or on a front-facing building wall.
- 3. Rapid shut-down is required for all solar energy systems and shall be located on a labeled control panel.
- 4. Strongly encourage the system be designed and installed by NABCEP certified installer and by an accredited electrician. NABCEP is the North American Board of Certified Energy Practitioners.

**SECTION 13.5 WIND ENERGY SYSTEM DEVELOPMENT STANDARDS**

- A. Applicability.** This regulation shall apply to all zoning districts and to all structures and lands proposed to have wind energy systems installed.
- B. Approval.** Howland Township may not issue approvals or permits without full compliance with the terms of this regulation.
- C. Small wind energy systems.**
  - 1. Small wind energy systems that generate less than 5 megawatts in capacity shall be permitted as a conditional use in all zoning districts except "I" Industrial. Wind systems in excess of 5 megawatts are regulated by the Public Utilities Commission of Ohio (PUCO).
  - 2. Horizontal Axis Wind Turbines (HAWT), Vertical Axis Wind Turbines (VAWT), and Blade Tip Power System Turbines (BTPS) are permitted as part of these regulations.
- D. Minimum lot size.** The minimum lot size for vertical or horizontal axis wind turbines is 5 acres.

**E. Ground-Mounted Systems.**

1. Maximum height cannot exceed 125 feet average grade to the highest point on the blade
2. Fall Zone.
  - a. A ground-mounted tower shall be set back from all property lines at a distance equal to 150% of the tower's height and in compliance with the front yard setback.
  - b. The fall zone cannot include public right-of-way, overhead utility lines, property lines, or principal structures.
3. Artificial lighting is prohibited unless required by the Federal Aviation Administration (FAA).
4. All wiring associated with the wind energy system shall be located underground.

**F. Building-Mounted Blade Tip Power System Turbine Systems.**

1. **Height.** The maximum height cannot exceed 10 feet above the height limit of the appropriate zoning district. The maximum height is calculated by measuring the length of a propeller at maximum vertical rotation to the unit's base for horizontal axis wind systems.

**G. Ground Clearance.** No portion of the turbine, including the rotor blades, shall extend within 20 feet of the ground, except that the generator of a vertical axis wind turbine may be located on the ground at the base of the system. No portion of the turbine may extend over parking areas, sidewalks, or driveways.

**H. System Viability.** Prior to installing a wind energy system, a location's wind viability must be tested and verified. A wind map of the location must be submitted with the proposed plan, and a wind study must be conducted that shows the turbine placement and performance as a viable location.

**I. Noise.** The sound levels of the wind energy system shall not exceed fifty-five (55) decibels (dBA), as measured at the site property line. This does not include sound levels during short-term events, such as severe wind storms and utility outages.

**J. Shadow Flicker.** Wind turbines shall be sited in a manner that does not result in significant shadow flicker impacts. Significant shadow flicker is defined as more than thirty (30) hours per year on abutting occupied buildings. The applicant has the burden of proving that the shadow flicker will not have a significant adverse impact on neighboring or adjacent uses. Potential shadow flicker must be addressed either through siting or mitigation measures.

**K. Braking System.** All wind energy systems shall have a redundant braking system that adequately controls over-speed.

**L. Advertising.** Advertising is prohibited, including signs, streamers, pennants, spinners, reflectors, ribbons, tinsel, balloons, flags, banners or similar materials. The manufacturer and equipment information, warning signs or ownership information is allowed on the wind turbine and equipment not to exceed an area of two square feet.

**M. Repair or Removal.** Any non-functioning wind energy system that has been non-functional for six consecutive months shall be deemed abandoned. The Zoning Administrator may order the system's repair or removal per these provisions. The owner, applicant, or other person responsible for the system shall repair or remove the system within 90 days.

# SECTION 14 FENCES AND WALLS<sup>33</sup>

Section 14.1 Purpose ..... 118  
 Section 14.2 Applicability..... 118  
 Section 14.3 Standards ..... 118

## SECTION 14.1 PURPOSE

This section's purpose is to balance property owners' rights to fence their land with neighbors' rights to light, air, and views. It also aims to provide aesthetic consistency throughout the Township's neighborhoods and business corridors. Overall, its purpose is to protect the public interest, prosperity, general welfare, and comfort of the community.

## SECTION 14.2 APPLICABILITY

Fences and walls may be erected in all zoning districts in Howland Township after a Zoning Certificate is obtained.

## SECTION 14.3 STANDARDS

### A. Fencing and Wall Standards

<b>Table 14.3 (A) Fence Standards</b>		<b>Residential Zoning Districts</b>
<b>Fence Maximum Height</b>		
<b>Front Yard</b>	<b>3 feet, including the side yard of a corner lot</b>	
<b>Side Yard</b>	<b>6 feet</b>	
<b>Rear Yard</b>	<b>6 feet</b>	
<b>Fence Materials</b>		
<b>Material Accepted</b>	<b>Wood, vinyl, composite, decorative aluminum and iron, chain link, and decorative masonry. Retaining walls shall be constructed of stone, decorative wall systems, or brick.</b>	
<b>Materials Prohibited</b>	<b>Chain link in the front yard or side yard of a corner lot, scrap or salvage material, electrified, barbed or razor wire.</b>	
<b>Fence Orientation</b>		
<b>Orientation</b>	<b>The finished side of a fence shall be oriented towards neighboring property.</b>	

<sup>33</sup> Section added Feb 7, 2025

Table 14.3 (B)		Business Zoning Districts					
Fence Standards	CRD-OI	CRD-1	CRD-2	MXD	HC	C	I
<b>Fence Maximum Height</b>							
Front Yard	3 feet, including the side yard of a corner lot						<b>8 feet</b>
Side Yard	6 feet						
Rear Yard	6 feet						
<b>Fence Materials</b>							
Material	Wood, vinyl, composite, decorative aluminum and iron, and decorative masonry. Retaining walls shall be constructed of stone, decorative wall systems, or brick.				All materials mentioned, plus chain link		<b>No Restrictions</b>
Materials Prohibited	Chain link, electrified, barbed or razor wire				Electrified, barbed or razor wire		
<b>Fence Orientation</b>							
Orientation	The finished side of a fence shall be oriented towards neighboring property.						

- B. Township Engineer Approval.** Retaining walls shall be reviewed and approved by the Township Engineer.
- C. Height Exceptions.** Height exceptions include play court fencing, where the height of a chain link or wire mesh fence, where permitted, can be no taller than 10 feet.
- D. Surface Runoff.** Fences are not permitted in riparian areas. In areas not identified as a riparian area but still functioning as stormwater drainage, fences shall not impede the free flow of surface runoff nor have adverse effects on adjacent properties. Posts for fences should honor the natural flow of water and remain clear of any drainage swales.
- E. Construction, Maintenance, and Repair.** Fences and walls shall be maintained in good repair at all times by the owner and/or occupant of the lot on which they are located.

# SECTION 15 OUTDOOR LIGHTING<sup>34</sup>

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Section 15.3 Outdoor Lighting Standards.....	120
Section 15.4 Exemptions .....	121

## SECTION 15.1 PURPOSE

Howland Township recognizes the importance of regulating outdoor lighting to balance the need for illumination for safety, security, and functionality with the preservation of natural darkness, wildlife habitat, energy conservation, and visual quality in the built environment. These regulations aim to protect public health and safety and enhance the nighttime environment.

## SECTION 15.2 APPLICABILITY

- A. This section applies to all lighting that illuminates the exterior of a building, structure, open space, parking and loading areas, or other lot features.
- B. Lighting plans are required with all applications except those for single-family or two-family projects.

## SECTION 15.3 OUTDOOR LIGHTING STANDARDS

- A. The maximum height of a light pole in non-residential zoning districts is 25 feet.
- B. The maximum height of a light fixture in a residential zoning district is 15 feet.
- C. All non-residential outdoor lighting fixtures (including but not limited to lighting fixtures used for parking areas, buildings, building overhangs, canopies, signs, displays, game fields, and landscaping) shall be full cut-off type fixtures or fully shielded (downward directed) except for decorative light fixtures.

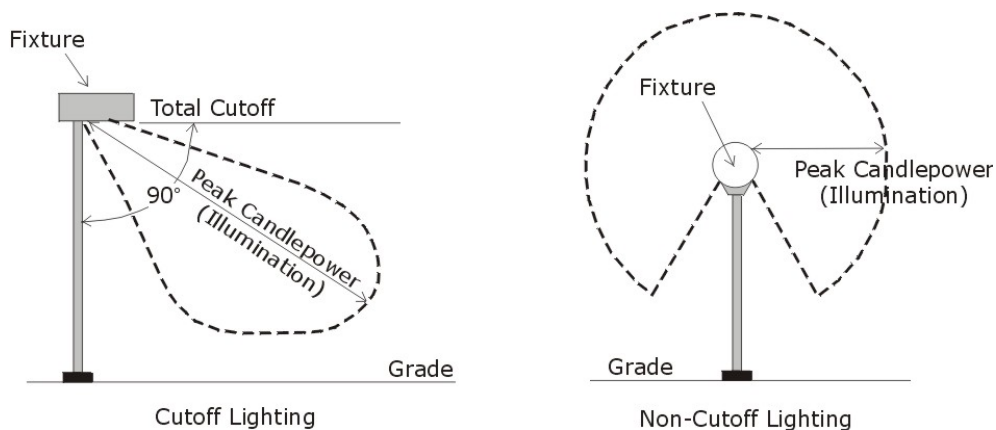


Figure 15.3 Cutoff fixture versus non-cutoff fixture

<sup>34</sup> Section added Feb 7, 2025

- D.** Lighting installations for new non-residential, mixed-use, or multi-family projects shall be of a similar manufacturer's type or family. The poles and fixtures shall be dark in color.
- E.** Lighting in all zoning districts shall be designed to prevent glare and light trespass onto adjacent property.
- F.** It is recommended that all LED lighting have a Correlated Color Temperature (CCT) of 3000K or less.
- G.** All new lighting fixtures attached to a canopy or awning (e.g., for use in gasoline stations, service stations, and drive-thru) shall be recessed ceiling fixtures.
- H.** Exterior lighting shall not be designed or located in such a way as to shine directly into an adjacent dwelling unit, regardless of the zoning district.
- I.** Uniform lighting shall be provided to prevent various lighting intensities throughout a business parking area.
- J.** Lighting attached to a building shall not be designed, located, or mounted to exceed the height of the building.
- K.** For statues, monuments, fountains, flags, or other objects for which it may not be possible to reliably and consistently illuminate with full cutoff lighting, upward lighting may be used only in the form of spotlights that confine the illumination to the object of interest.
- L.** Lighting on the game court shall be turned off between 10.00 p.m. and 7.00 a.m. and shall not shine directly into an adjacent residential dwelling.
- M.** It is prohibited to use searchlights, laser lighting, or lights that pulse, flash, rotate, or simulate motion for advertising or promotion.
- N.** Business window lighting shall be kept to a minimum.

## SECTION 15.4 EXEMPTIONS

- A.** A lighting plan is not required for single-family and two-family dwellings, regardless of where the use is located.
- B.** Decorative outdoor lighting fixtures with bulbs that do not exceed 25 watts are exempt from the requirements of this article.
- C.** Street lights shall be exempt from the provisions of this article.
- D.** Temporary construction or emergency lighting is exempt from the requirements of this article. Such lighting shall be discontinued immediately upon completion of the construction work or abatement of the emergency necessitating such lighting.
- E.** Nothing in this section shall apply to lighting required by the Federal Aviation Administration or any other federal regulatory authority.

# SECTION 16 PLANNED UNIT DEVELOPMENT <sup>35</sup>

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## SECTION 16.1 OBJECTIVES FOR PLANNED UNIT DEVELOPMENTS (PUD).

- A Objectives:** It shall be the policy of the Township of Howland to promote progressive development of the land and construction thereon by encouraging Planned Unit Development(s) (PUD) to achieve.
- 1 A maximum choice of living environments by allowing a variety of housing and building types and permitting an increased density per acre of lots that are to be developed, while maintaining the overall density per acre for the entire Planned Unit Development (PUD) and a reduction in lot dimensions, yards, building setbacks and area requirements as set forth elsewhere in these Resolutions.
  - 2 A more useful pattern of open space and recreation areas and, if permitted as part of the project, more convenience in the location of accessory commercial uses and services.
  - 3 A development pattern that preserves and utilizes natural topographical and geological features, scenic vistas, trees, and other vegetation, and prevents the disruption of natural drainage patterns.
  4. A more efficient use of land than is generally achieved through conventional development, resulting in substantial savings through fewer requirements for utilities and streets.
  5. A development pattern in harmony with land use density, transportation facilities, and community facilities objectives of the Comprehensive Land Use Plan.
  6. The Township of Howland is also prepared to accept a greater population density in undeveloped areas of the total project, provided the population density does not exceed that provided and regulated in other sections of this Resolution for the total project, and provided the developer can demonstrate that any increment of public cost, clearly attributable to increased densities, will be compensated for by the private amenities and public benefits to be achieved by the plan for development.

## SECTION 16.2 PROVISIONS GOVERNING PLANNED UNIT DEVELOPMENT(S).

Because of the special characteristics of Planned Unit Developments, special provisions governing the development of land for this purpose are required. Whenever there is a conflict of difference between the provisions of this Section and those of the other Sections of this Resolution, the provisions of this Section shall prevail. Subjects not covered by this Section shall be governed by the respective provisions in this Resolution.

<sup>35</sup> Updated Feb 7, 2025

## SECTION 16.3 PERMITTED USES

Compatible R-1, R-2, and R-A Residential District, CRD-OI Office Institutional Districts, CRD1/CRD2 Corridor Review Districts, Highway Commercial "HC" and "C" Commercial Districts, public and quasi-public uses may be combined in "PUD" Districts, provided that the proposed location of the business uses will not adversely affect adjacent property, and/or the public health, safety, and general welfare of Howland Township residents. Lot area and other yard requirements established in [Section 4 Residential Zoning Districts](#), shall apply except as modified in Section 16.4(H) Minimum Lot Sizes and Section 16.4(J) Height Requirements of this Section 16 PUD.

The amount of land and type of commercial activities devoted to Commercial uses in a Residential-Commercial development shall be determined by the Howland Township Zoning Commission and approved by the Howland Township Board of Trustees.

## SECTION 16.4 GENERAL DEVELOPMENT STANDARDS

- A Minimum Project Area.** The gross area of a tract of land to be developed in a Planned Unit Development (PUD) District shall be a minimum of five (5) acres.<sup>36</sup>
- B Limits.** When the Planned Unit Development proposes a mixture of residential uses with business uses Howland Township Zoning Commission may limit the development of not more than eight percent (8%) of the tract to non-recreational business uses.
- C Project Ownership.** The project land may be owned, leased, or controlled either by a single person or corporation or by a group of individuals or corporations. Such ownership may be by a public or private corporation.
- D Common Open Space.** A minimum of twenty percent (20%) of the land developed in any Planned Unit Development project shall be reserved for common open space and recreational facilities for the residents or users of the area being developed. The commercial recreational activities may not be included in the common open space area. The open space shall be disposed of as required in Section 16.4(E) Disposition of Open Space.
- E Disposition of Open Space.** The required amount of common open space land reserved under a Planned Unit Development shall either be held in corporate ownership by owners of their project area for the use of each owner who buys property within the development or be dedicated to Howland Township Park District and retained as common open space for parks, recreation, and other related uses. All land dedicated to Howland Township must the Howland Township Zoning Commission's requirements as to size, shape, and location. Public utility and similar easements and rights-of-way for water courses and other similar channels are not acceptable for common open space dedication to Howland Township unless such land or right-of-way is usable as a trail or other similar purpose and approved by the Howland Township Zoning Commission.
- F Maintenance.** The responsibility for the maintenance of all open spaces shall be specified by the developer before approval of the final development plan
- G Utility Requirements.** Underground utilities, including telephone and electrical systems, are required within the limits of all Planned Unit Developments. Appurtenances to these systems that can be effectively screened may be excepted from this requirement if the Howland Township Zoning Commission finds that such exemption will not violate the intent or character of the proposed Planned Unit Development.
- H Minimum Lot Sizes.**

<sup>36</sup> Minimum acreage for a PUD updated Feb 7, 2025

1. Lot area per dwelling unit may be reduced by not more than forty percent (40%) of the minimum lot area required in [Section 4 Residential Zoning Districts](#). A Planned Unit Development need not conform to the density requirements of [Section 4 Residential Zoning Districts](#) that can be developed of the total project, provided the overall project density is not exceeded as provided elsewhere in these Resolutions. A diversification of lot sizes is encouraged.
  2. Lot widths may be varied to allow for a variety of structural designs. It is also recommended that set-backs be varied.
- I Lots to Abut Upon Common Open Space.** Every property developed under the Planned Unit Development approach should be designed to abut upon common open space or similar areas. A clustering of dwellings is encouraged. In areas where townhouses are used, there shall be not more than eight (8) townhouse units in any contiguous group or structure.
- J Height Requirements.** For each foot of building height over the maximum height regulations specified in [Section 4 Residential Zoning Districts](#) and [Section 5 Business Zoning District](#), the distance between such buildings and the side and rear property lines of the Planned Unit Development project area shall be increased by one (1) foot addition to the side and rear yard as required in that district or districts.
- K Parking.** Off-street parking, loading, and service areas shall be provided in accordance with [Section 11 Parking Facilities](#), of this Resolution. However, off-street parking and loading areas shall not be permitted within twenty (20) feet of any residential use.
- L Perimeter Yards.** Notwithstanding the provisions of this Section 16, every lot abutting the perimeter of the Planned Unit Development District shall maintain all yard requirements specified in [Section 4 Residential Zoning Districts](#) and [Section 5 Business Zoning District](#) of this Resolution for the applicable conventional zoning district.
- M Arrangement of Business Uses.** When Planned Unit Development Districts include business uses, commercial buildings and establishments shall be planned as groups having common parking areas and common ingress and egress points in order to reduce the number of potential accident locations at intersections with thoroughfares. Planning screens or fences shall be provided on the perimeter of the commercial areas abutting residential areas.
- N Design.** The plan of the project shall provide for the integrated and harmonious design of buildings, and adequate and properly arranged facilities for internal traffic circulation, landscaping and such other features and facilities as may be necessary to make the project attractive and efficient from the standpoint of the adjoining and surrounding non-commercial areas.
- O** All areas designed for future expansion or are not intended for immediate improvement or development shall be landscaped or otherwise maintained in a neat and orderly manner as specified by the Howland Township Zoning Commission.

## SECTION 16.5 APPLICATION AND PROCEDURE.

- A Pre-Application Meeting.** The developer shall meet with the Howland Township Zoning Administrator prior to the submission of the preliminary development plan. The purpose of this meeting is to discuss early and informally the purpose and effect of this Resolution, and the criteria and standards contained, herein, and to familiarize the developer with the comprehensive development plan and the parks and public open space plan as may be developed and adopted, the Trumbull County Subdivision Regulations, and the drainage, sewer, and water systems that exist with Howland Township.
- B Application for Approval of PUD District.** An application for approval of PUD District shall be filed with the Howland Township Zoning Administrator pursuant to provisions of the Ohio Revised Code 519.12. At the time of such filing, such developer shall provide ten

(10) copies of the development plan for the PUD which shall contain the following information.

1. Name, address, and phone number of applicant
2. Name, address, and phone number of registered surveyor, registered engineer and/or urban planner assisting in the preparation of the preliminary development plan;
3. Description of existing use;
4. Zoning districts;
5. A vicinity map at a scale approved by the Howland Township Zoning Commission showing property lines; street, existing and proposed zoning, and such other items as the Zoning Commission may require to show the relationship of the Planned Unit Development to the Comprehensive Plan and to existing schools and other community facilities and services;
6. A preliminary development plan at a scale approved by the Howland Township Zoning Commission showing topography at two (2) foot intervals; location and type of residential, commercial land uses; layout, dimensions, and names of existing and proposed streets, right-of-ways, utility easements, parks and community spaces; layout and dimensions of lots and building set-back lines; preliminary improvement drawings showing water, sewer, drainage, electricity, telephone, and natural gas; and such other characteristics as the Howland Township Zoning Commission deems necessary;
7. Proposed schedule for the development of the site;
8. Evidence that the applicant has sufficient control over the land in question to initiate the proposed development plan within five (5) years and development plan is consistent with Howland Township's statement for PUD'S.
9. Water resources, riparian areas, floodplains steep slopes or other natural features.

**C Statement of Public Interest.** The application for preliminary Planned Unit Development shall be accompanied by a written statement by the developer setting forth the reasons why, in their opinion, the Planned Unit Development would be in the public interest and would be consistent with Howland Township's statement of objectives for Planned Unit Developments in "Objectives for Planned Unit Developments" of Section 16. PUD, of this Resolution.

**D Map Notation.** Upon approval of a final development plan, the Official Howland Township Zoning Map shall be annotated for the land use involved so that the district name includes the notation "PUD." Planned Unit Development Districts shall be approved by the Howland Township Zoning Commission and the Howland Township Board of Trustees in the manner provided in this Section and Ohio Revised Code 519.12.

**E Expiration and Extension of Approval Period.**

1. The approval of a final development plan for a Planned Unit Development District shall be for a period not to exceed five (5) years to allow for preparation and recording of the required subdivision plat and the development-of the project. If no construction has begun within five (5) years after approval is granted, the approved final development plan shall be void and the land. shall revert to the district regulations in which it is located. An extension of the time limit or modification of the approved final development plan may be approved if the Howland Township Zoning Commission finds that such extension or modification is not in conflict with the public interest.

2. No zoning amendment passed during the time period granted for the approved final development plan shall in any way affect the terms under which approval of the Planned Unit Development was granted.

# SECTION 17 ADULT ENTERTAINMENT OR SEXUALLY-ORIENTED BUSINESS

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## SECTION 17.1 PURPOSE

Howland Township has adopted Adult Entertainment Business Regulations as specified herein in order to protect the public health, safety, and welfare, by minimizing negative secondary effects known to be associated with Adult Entertainment Businesses (see [Section 21, Definitions](#)) such as the spread of communicable diseases; reduction in property values; diminishing of the character and quality of residential neighborhoods; increase in crime; degeneration of social and moral order; and the diminishing or destroying the use of public facilities, particularly those facilities used by children or those used for religious purposes.

These regulations are designed to permit adequate opportunity for the expression of constitutionally protected free speech associated with Adult Entertainment Uses, while protecting the public interest.

## SECTION 17.2 PRECEDENCE OF ADULT ENTERTAINMENT BUSINESS REGULATION REQUIREMENTS

Where there is a conflict between the requirements of this Section and any other Section of these Howland Township Zoning Resolutions, the requirements of this Section shall prevail.

## SECTION 17.3 STATUS OF ADULT ENTERTAINMENT BUSINESSES

Adult Entertainment Businesses shall be considered to be Conditionally Permitted Uses and shall require a Conditional Zoning Certificate issued by the Howland Township Board of Zoning Appeals at public hearing in accordance with the requirements specified herein.

## SECTION 17.4 LOCATION, DESIGN, AND SPATIAL REQUIREMENTS

- A. Locational Requirements.** Adult Entertainment Businesses may only be located within “I” (Industrial and Manufacturing) zoning districts.
- B. Design Requirements.** Adult Entertainment Businesses shall be required to meet all “I” Industrial and Manufacturing zoning district building and parking set-backs, green space, and sign requirements.

- C. **Spatial Requirements.** No building or property occupied by an Adult Entertainment Business may be located closer than five hundred (500) feet to a residence, residential subdivision, residentially zoned land, church, school, public playground, public park, library, government office, or another Adult Entertainment Business.

## SECTION 17.5 PERMIT APPLICATION REQUIREMENTS

- A. **Application Requirements.** An application for an Adult Entertainment Business Conditional Zoning Certificate shall include the following.
1. Name and address of the applicant.
  2. Name and address of the property owner (if different from the above).
  3. Name and proposed location of the Adult Entertainment Business.
  4. Complete and specific description of the activities that will be involved in the proposed business.
  5. A site plan of the project shall be submitted designating the following. the location(s) of existing and proposed structure(s); parking areas (including spaces and drive aisles); points of ingress and egress; setbacks and lot building dimensions; the location and dimensions of any wall or ground mounted signage; dumpster locations; a summary table providing acreage, building coverage, green space, and parking details.
  6. The fee for the public hearing shall be three hundred dollars (\$300.00) and shall be submitted at the time that application is made.

## SECTION 17.6 APPLICATION PROCESS

Upon submittal of a complete application package, as specified above, a public hearing will be scheduled before the Howland Township Board of Zoning Appeals for the purpose of considering the proposed project. The public hearing will be scheduled for next available regular meeting date of the board.

# SECTION 18 MINERAL EXTRACTION

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## SECTION 18.1 PURPOSE

To provide for the extraction of minerals other than oil or natural gas that may exist within the Township while minimizing the impact on surrounding properties and neighborhoods to the maximum extent feasible; and to protect the overall interest of the public for the purposes of promoting health, safety, morals, comfort, and general welfare; to conserve and protect property and property values.

## SECTION 18.2 APPLICABILITY

- A. This section applies only to the stripping, removal, excavation, and/or hauling of topsoil, gravel, clay, sand, and sub-surface minerals other than oil or natural gas.
- B. No person, corporation, partnership or other legal entity shall commence any of the activities described in Section 18.2(A) above, unless a Conditional Zoning Certificate is obtained through a Public Hearing before the Howland Township Board of Zoning Appeals.
- C. This section is applicable to all districts set forth in [Section 2. Establishment of Zoning Districts](#) This section does not apply to an excavation necessary for the construction of a swimming pool, driveway, walkway, wall, building, or part thereof, or accessory thereto, or to the removal of topsoil from one part of the lands of an owner to another part of the same premises as a landscaping or agricultural activity.
- D. This section is applicable to the excavation and construction of lakes or ponds in all districts set forth in [Section 2. Establishment of Zoning Districts](#) of this Resolution. However, in areas where a lake or pond is to be excavated or constructed in conjunction with an agricultural or conservation use, this section applies only if the lake or pond is in excess of one acre in area.

## SECTION 18.3 APPLICATION

- A. The following information, plans, documents, etc., shall be provided to the Howland Township Zoning Administrator with the application for a Conditional Zoning Certificate.
  - 1 The application, in addition to any other pertinent information required by the Zoning Administrator, shall contain the name and address of the owner; the legal capacity of the person filing the application; the names and addresses of all contractors or subcontractors who will be involved in the project, the name and address, of the applicant's architect, surveyor or engineer; and a legal description of the exact area where such activity is proposed and a legal description of the entire premises.
  - 2 A plan prepared by a duly licensed engineer or land surveyor setting forth a three-dimensional configuration of the proposed stripping or excavation, the exact condition of the area before work is commenced, the proposed condition of the area after completion of the work, and the effect of the work on the drainage plan of the area.

- 3 A written proposal as to the method of stripping and removal to be employed, the time when the work is to commence and within which it is to be completed, the type of re-seeding or re-planting of the area, the existing depth of the topsoil on the area, the amount of topsoil to be left in the area (if any), the ultimate proposed use of the land and the route to be used during hauling operations.
- B.** The Zoning Administrator shall be given a reasonable opportunity to investigate the information provided in and with the application before referring the application to the Board of Zoning Appeals for a Public Hearing.
- C.** If, after a Public Hearing, the Board of Zoning Appeals decides to grant the applicant a "Conditional Zoning Certificate", it shall be granted upon such terms and/or conditions as the Board shall deem necessary for the protection of the public health, safety, and welfare of the Community; and such terms and/or conditions shall be made part of the Certificate and constitute limitations thereon. The Board, in its discretion, may condition the issuance of a Certificate upon the applicant posting a performance bond satisfactory to the Board in an amount determined by the Board.
- D.** A Conditional Zoning Certificate granted pursuant to this subsection shall be limited to the area specifically described in Section 18.3(A)(2) above, and shall not be extended laterally even on the same premises without obtaining approval for such extension by an additional application and another hearing before the Board of Zoning Appeals.
- E.** A violation of the terms and/or conditions of a Conditional Zoning Certificate may result in the revocation of such certificate under the provisions of OHIO REVISED CODE 519.14.

# SECTION 19 TELECOMMUNICATION TOWERS AND FACILITIES

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## SECTION 19.1 PURPOSE

In order to protect the health, safety, and welfare of the public without unreasonably interfering with the development within the telecommunications marketplace, this section will regulate the placement, construction, modification, and removal of telecommunication towers, their premises, and attendant facilities in areas zoned for residential use in the unincorporated areas of Howland Township. Specifically, the objectives of this resolution are to.

- Regulate the location of telecommunication towers and attendant facilities in Howland Township;
- Protect residential areas and land uses from the potential adverse impact of telecommunication facilities;
- Minimize the adverse visual impact of telecommunications facilities through careful design, placement, landscaping, and use of innovative alternative tower structures or camouflaging techniques;
- Promote and encourage collocation of telecommunication towers and antenna support structures as a primary option rather than construction of additional, single-use towers;
- Promote and encourage utilization of technological designs that will either eliminate or reduce the need for the erection of new tower structures to support telecommunication facilities;
- Avoid potential damage to property caused by telecommunication facilities by ensuring such structures are soundly and carefully designed, placed, constructed, modified, and removed when no longer used or are determined to be structurally unsound; and
- Ensure that the telecommunication facilities are compatible with surrounding land uses.

## SECTION 19.2 APPLICABILITY

The provisions of this zoning resolution and the *Ohio Revised Code*, Sections 519.02 through 519.25 shall apply to all telecommunication towers and their attendant facilities to the extent permitted in the *Ohio Revised Code*, Section 519.211 or any amendment or successor statute thereto permitting regulation of telecommunication towers, structures, and/or devices. This resolution and the aforementioned Sections of the *Ohio Revised Code* shall become applicable upon an objection properly lodged by either a property owner or a Howland Township Trustee pursuant to the procedure, requirements, and specified time periods provided in the *Ohio Revised Code*, Section 519.211. Additionally, all premises and attendant facilities shall be maintained consistent with the *Howland Township Property Maintenance Code* and all applicable sections of the *Howland Township Zoning Resolutions*.

## SECTION 19.3 NOTIFICATION PROCEDURES

Any person who plans to construct a telecommunication tower in an area subject to *Howland Township Zoning Resolutions* shall provide written notice of their intent to the Howland Township Board of Trustees and the requisite property owners pursuant to the notification procedures and requirements as prescribed by the *Ohio Revised Code*, Section 519.21, or any amendment or successor statute thereto.

In the event that objections are properly lodged by either the notified property owners or a member of the Howland Township Board of Trustees within the time periods specified by law, the owner/operator or person who plans to construct the telecommunication tower shall submit an application to the Howland Township Board of Zoning Appeals for review and approval of a Conditional Zoning Certificate for the proposed construction.

## SECTION 19.4 APPLICATION FOR A CONDITIONAL ZONING CERTIFICATE

The following shall be the criteria for review and approval of a Conditional Zoning Certificate by the Howland Township Board of Zoning Appeals.

- A**     **Submission Requirements.** For purposes of overall review, the submitted plans for the telecommunication tower and attendant facilities shall include.
1.       Plans indicating site location and detail in proximity to residential dwellings.
  2.       An inventory of existing telecommunication towers, antennas, or sites planned and/or approved for telecommunication towers or antennas, that are either within the unincorporated areas of Howland Township or within two miles of the border thereof, including specific information regarding the location, height, and design of each tower.
  3.       Elevations indicating the height, width, and style of the tower.
  4.       Plans and elevations indicating the size, dimensions, and appearance features of the attendant facility (or facilities).
  5.       Proposed landscape plan showing existing and proposed trees, landscaping, and screening.
  6.       Access roads shall be indicated on all plans, in addition to type of material (if applicable) to be used in construction.
  7.       Letter indicating efforts concerning collocation and innovative alternative tower structures for camouflaging.
  8.       Owners and/or operators of towers or antennas shall submit copies of all franchises, certifications, licenses, and permits required by law for the design, construction, location, and operation of telecommunication towers and antennas. Owners and/or operators shall be required to maintain same and to provide evidence of renewal or extension thereof when granted.
- B**     **Development Standards.** The applicant shall be required to meet the following minimum development standards for a telecommunication tower and attendant facilities.
1.       Tower Color and Finish. Towers shall either maintain a non-contrasting gray or similar color, or shall have a galvanized steel finish unless otherwise required by any applicable standards of the Federal Aviation Administration (FAA) and the Ohio Department of Transportation (ODOT).

2. **Compatible Design.** The design of all attendant facilities, buildings, and related structures shall use materials, colors, textures, and screening so as to be aesthetically and architecturally compatible with the surrounding environment.
3. **Antenna Color.** If an antenna is installed on a structure other than a tower, the antenna and supporting electrical mechanical equipment must be a neutral color that is identical to, or closely compatible with, the color of the supporting structure so as to make the antenna and related equipment as visually unobtrusive as possible.
4. **Lot Size and Setbacks.** All telecommunication towers and antennas shall be set back a minimum of 100 feet from all property lines. Guywire(s), attendant facilities, and/or accessory buildings must satisfy the minimum zoning district setback requirements. The dimensions of the entire lot shall control, even though the antennas or towers may be located on lease parcels within such lot.
5. **Fencing.** All fencing shall utilize wood, or other decorative materials consistent with the Howland Township Zoning Resolutions.
6. **Landscaping.** Natural-looking, six-foot tall, opaque buffer areas shall be established along the periphery so as to effectively screen the tower compound and facilities.
7. **Lighting.** Telecommunication towers and antennas shall not be artificially lit, unless required by the FAA or other applicable authority.
8. **Structural Requirements.** The applicant shall show via written certification that the proposed telecommunication tower, antenna, and attendant facilities meet all accepted and applicable building and structural codes regulating the construction of telecommunication towers and attendant facilities, as may be published by the Electronics Industries Association, as amended on occasion.
9. **Signs.** No signs shall be permitted on any tower or antenna, except for a sign indicating the emergency contact phone number.
10. **Knox Box.** A Knox Box system shall be utilized for Fire Department access.

**C Additional Information.** The applicant may also be required to submit additional information as requested by the Howland Township Board of Zoning Appeals so as to ensure that the plans for a proposed telecommunication tower and attendant facilities is not injurious, damaging, or detrimental to adjacent and nearby property and property owners, and to ensure that the overall spirit and intent of residentially zoned areas and the resolutions governing such districts are preserved.

## SECTION 19.5 REMOVAL OF TOWER AND FACILITY

- A Cease of Use.** All providers utilizing telecommunication towers shall present a report to the Howland Township Board of Trustees notifying them of any tower facility located in Howland Township whose use will be discontinued and the date that this use will cease.
- B Structurally Unsound.** If, upon an inspection, the Township or County concludes that a telecommunication tower, antenna, or facility fails to comply with applicable building and structural codes and standards, and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have 30 days to bring such tower into compliance with such standards. Failure to bring such tower into compliance within said 30 days shall constitute grounds for Howland Township to remove

the facility, or contract to have it removed and assess the costs incurred to the owner(s)/operator(s).

- C Discontinuation.** If at any time the use of a telecommunication tower, antenna, or attendant facility is discontinued for 180 days, the Howland Township Board of Trustees may declare the facility abandoned. The Board of Trustees will send written notification to the facility's owner(s)/operator(s) of its decision and instruct the owner(s)/operator(s) to either re-activate the facility's use within 180 days, or dismantle and remove it. If re-activation or dismantling does not occur, Howland Township may either remove the facility, or contract to have it removed and assess the costs incurred to the owner(s)/operator(s).
- D State or Federal Requirements.** All telecommunication towers must meet or exceed current standards and regulations of the FAA, the Federal Communications Commission (FCC), and any other agency of the state or federal government with the authority to regulate towers and antennas. If such standards and regulations are changed, then the owners of the towers, antennas, and/or attendant facilities governed by these resolutions shall bring such towers and antennas into compliance with such revised standards and regulations within six (6) months of the effective date of such standards and regulations, unless a different compliance schedule is mandated by the controlling state or federal agency. Failure to bring towers, antennas, and attendant facilities into compliance with such revised standards and regulations shall constitute grounds for the removal of the tower, antenna, or facility by Howland Township, or contract to have it removed and assess the costs incurred to the owner(s)/operator(s).

# SECTION 20 ADMINISTRATION

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## SECTION 20.1 BOARD OF ZONING APPEALS

- A. Board Created.** A Board of Zoning Appeals is hereby created as provided in Section 519.13 of the Ohio Revised Code and shall have all the powers and duties prescribed by law and by this Resolution.
- B. Membership.**
1. The Board of Zoning Appeals shall consist of five (5) members who are residents of the unincorporated area of Howland Township, as appointed by the Board of Trustees. Each member shall be appointed for a period of five (5) years. No member shall be appointed for more than two (2) consecutive terms. Terms shall be arranged so that the term of one (1) member shall expire each year.
  2. The Board of Trustees may appoint up to two (2) alternate members to the Board of Zoning Appeals for terms determined by the Board of Trustees.
  3. Each member shall serve until the member's successor is qualified and appointed.
  4. Vacancies shall be filled by appointment by the Board of Township Trustees and shall be for the unexpired term.
  5. A member may be removed as provided by applicable law.
  6. Members may be allowed expenses and compensation as determined by the Township Trustees.
- C. Organization.**
1. The Board shall prescribe rules and regulations for the conduct of its affairs not in conflict with this Resolution.
  2. At its first public meeting of each year, the Board shall elect a Chairperson and a Vice Chairperson from its membership. The Vice Chairperson shall conduct any meeting when the Chairperson is absent.
- D. Meetings and Quorum.**
1. The Board shall meet at the call of its Chairperson or on a schedule determined by the Board.
  2. All meetings of the Board shall be open to the public and shall be held at the

Howland Township Administration Building unless otherwise specified.

3. The Board may, upon motion and approval by a majority of members present in a roll call vote, meet in executive session for purposes permitted by law, but orders, actions, decisions and authorizations shall only be made in public. Executive session shall only be held at the time of a regular or special meeting and only for consideration of a matter set forth in the published agenda for that meeting. The particular purpose of the executive session shall be stated with the authorizing motion.
4. An alternate member shall take the place of an absent regular member at any meeting and may vote on any matter on which the absent voting member is authorized to vote. When two alternate members are present, the alternate who has served for the longest continuous period shall be the first seated in place of an absent member. Both alternates shall be seated if two or more members are absent.
5. Three (3) members of the Board shall constitute a quorum at any meeting.
6. A concurring vote of three (3) members present shall be necessary to affect an order, take action, make decisions, or act on any authorization. The Board should advise the applicant of the requirement for three (3) concurring votes.

**E. Witnesses.** The Chairperson or Acting Chairperson shall administer oaths or affirmations to all persons presenting evidence or giving testimony during the hearing. The Board may compel the attendance of witnesses in all matters coming within the purview of the Board.

**F. Record of Proceedings.** The Board shall keep minutes of its proceedings showing the vote of each member upon each question or, if absent or failing to vote, indicating the fact, and shall keep records of its examinations and other official actions, all of which shall be immediately filed in the office of the Township Trustees and shall be a public record.

**G Powers and Duties.** The Board of Zoning Appeals shall have the following powers and duties.

1. Administrative Appeals. Hear and decide appeals where it is alleged there is error in any order, requirement, decision, or determination made by an administrative official in the enforcement of Ohio Revised Code Sections 519.02 to 519.25 or of any resolution adopted pursuant thereto;
2. Variances. Authorize, upon appeal, in specific cases, such variance from the terms of the Zoning Resolution as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the Zoning Resolution would result in an unnecessary hardship or practical difficulties and so that the spirit of the resolution shall be observed and substantial justice done;
3. Conditional Zoning Certificates. Grant Conditional Zoning Certificates for the use of land, buildings, or other structures if such certificates for specific uses are provided for in the Zoning Resolution. If the board considers conditional zoning certificates for activities that are permitted and regulated under Chapter 1514 of the Revised Code or activities that are related to making finished aggregate products, the board shall proceed in accordance with Section 519.141 of the Revised Code.
4. The Board shall have other duties consistent with applicable law.

## SECTION 20.2 VARIANCES, ADMINISTRATIVE APPEALS, AND CONDITIONAL USE CERTIFICATES

### A. Variances

1. The Board shall have the power to authorize, upon appeal in specific cases, a variance from the terms of the Zoning Resolution as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of this Resolution will result in practical difficulty or unnecessary hardship, depending on whether the request is for an area variance, where the practical difficulty standard as provided herein shall be utilized in evaluating the request, or a use variance, where an unnecessary hardship standard as provided herein shall be utilized in evaluating the request, and so that the spirit of this Resolution shall be observed and substantial justice done.
2. Findings Required. A variance shall not be granted or denied unless the Board makes specific conclusions of fact based on the evidence presented to it.
3. Area Variance Standards. Where the appeal requests an area variance, that is, a variance involving provisions relating to yard dimensions, setback, height, or similar spatial or dimensional requirements, then the following standards shall be considered and weighed in determining whether the grant of a variance is warranted to afford relief of practical difficulties.
  - a. Whether the property in question will yield a reasonable return and whether there can be any beneficial use of the property without the variance.
  - b. Whether the variance is substantial.
  - c. Whether the essential character of the neighborhood will be substantially altered and whether adjoining properties will suffer interference with their proper future development and rights as a result of the variance.
  - d. Whether the variance will adversely affect the delivery of governmental services.
  - e. Whether the property owner purchased the property with knowledge of the zoning restriction.
  - f. Whether the property owner's predicament can be obviated through some method other than a variance.
  - g. Whether the spirit and intent of this Resolution will be observed and substantial justice done by granting the variance.
  - h. Whether the property in question has unique or exceptional circumstances or conditions that do not generally apply to other properties in the vicinity and within the same district.
  - i. Such other criteria which the Board believes relates to determining whether the zoning regulation is equitable in its application to the specific property.
4. Use Variance Standards. Where an appeal requests a use variance, that is, a variance for the approval of a use which is not permitted in the zoning district in which the subject property is located, then the following standards shall be considered and weighed in determining whether the granting of a variance is warranted to afford relief of an unnecessary hardship.

- a. The Board shall determine if the use requested is a use which is specifically permitted in one or more zoning districts of the Township. If so, the Board may proceed to determine if the requested use should be permitted by use variance on the subject site. The Board shall not permit by variance a use which is not specifically permitted in a zoning district of the Township.
- b. The Board shall determine if there is an unnecessary hardship imposed upon the property owner by the application of the provisions of this Resolution to the subject property.
- c. The Board shall determine whether the property in question has unique or exceptional circumstances or conditions that do not generally apply to other properties in the vicinity or within the same district and, if such circumstances or conditions exist, whether and how they prevent use of the property in compliance with the applicable provisions of this Resolution. The Board may require the applicant to submit a report prepared by a qualified appraiser addressing these questions and the questions of whether any of the uses permitted in the district may be established on the property in a manner that is economically feasible without the variance and whether the land in question can yield a reasonable return if used only for a purpose allowed in the zoning district.
- d. The Board shall determine whether the hardship condition was created by actions of the applicant, or of any other party having interest in the property, which may include but are not limited to such actions as making physical changes to the property, subdividing or assembling the property, entering into contracts or agreements affecting or restricting use of the property, taking action on abutting or nearby properties within the applicant's control, or otherwise taking action affecting the subject property in a manner which created the hardship.
- e. The Board shall determine whether the subject property is adequate to meet the physical and economic needs and requirements of the proposed use.
- f. The Board shall determine if the requested use variance is the minimum variance which will afford relief to the property owner, including whether an area variance would permit use of the property in compliance with the provisions of this Resolution.
- g. The Board shall determine what impacts the proposed use may have upon the properties and neighborhood surrounding the subject property, whether the essential character of the neighborhood will be substantially altered, and whether the adjoining properties will suffer interference with their proper future development and rights as a result of the variance. The Board may consider any features of a proposed development plan for the subject property which may mitigate negative impacts, effects on neighborhood character, and interference with future development and rights of adjoining properties.
- h. The Board shall consider whether the circumstances of the subject property are such that the hardship may be more appropriately addressed by application for a change in the zoning district or in the regulations applicable to the subject property.

- i. The Board shall determine whether the spirit and intent of the Zoning Resolution will be observed and substantial justice done by granting the variance.
5. Variance Conditions and Safeguards. In granting any variance, the Board of Zoning Appeals may prescribe appropriate conditions and safeguards which are reasonably related to the requested variance in conformity with this Resolution and in furtherance of the purposes and intent of this Resolution. Violations of conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this Resolution.
6. Time Limitation. A variance shall be void one (1) year after the date granted by the Board unless a Zoning Certificate has been issued and the construction or alteration of affected structure(s) has commenced.

**B. Administrative Appeals**

1. Appeals may be taken to the Board from the decision of any administrative officer in the enforcement of this Resolution by any person aggrieved or by any officer of the Township affected by any decision of the administrative officer. The appeal shall be taken within twenty (20) days after the decision by filing, with the officer from whom the appeal is taken and with the Board of Zoning Appeals, a notice of appeal specifying the grounds of the appeal.
2. The officer from whom the appeal is taken shall forthwith transmit to the Board all the papers constituting the record upon which the action appealed from was taken.
3. Conditions and Safeguards. In taking action on any administrative appeal, the Board of Zoning Appeals may prescribe appropriate conditions and safeguards, including time limitations, which are reasonably related to the appeal in conformity with this Resolution, as it may deem necessary to protect the public health, safety, and morals, and in furtherance of the purposes and intent of this Resolution. Violations of conditions and safeguards, when made a part of the terms under which the appeal is granted, shall be deemed a violation of this Resolution.

**C. Conditional Use Certificates**

1. Application may be made to the Board for a conditional zoning certificate for any use listed in this Resolution as a conditional use in a specific zoning district. Applications and procedures shall be as set forth in this Resolution and as set forth in any adopted Rules and Regulations of the Board.
2. In considering whether to approve or deny an application for a conditional zoning certificate, the Board shall determine if the proposed use complies with applicable general and specific standards for conditional uses set forth in this Resolution.
3. The Board of Zoning Appeals may, if it deems that a proposed use may cause dangerous or otherwise objectionable impacts, require that the applicant provide substantial evidence regarding the nature and extent of such impacts and of any measures which may be taken to mitigate or eliminate such impacts if the use is approved.
4. Conditions and Safeguards. In taking action on application for a conditional zoning certificate, the Board of Zoning Appeals may prescribe appropriate conditions and safeguards which are reasonably related to the proposed use in conformity with this Resolution, as it may deem necessary to protect the public health, safety, and morals, and in furtherance of the purposes and intent of this Resolution. Violations of conditions and safeguards, when made a part of the terms under which a

conditional zoning certificate is granted, shall be deemed a violation of this Resolution.

5. Time Limitation. A conditional zoning certificate shall be void one (1) year after the date granted by the Board unless a Zoning Certificate has been issued and the construction or alteration of affected structure(s) has commenced.
6. General Standards for Conditional Uses. The Board of Zoning Appeals shall review the particular facts and circumstances of each proposed use in terms of the following standards and shall find adequate evidence showing that the proposed use in the proposed location.
  - a. Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that the use will not change the essential character of the same area.
  - b. Will not be hazardous or disturbing to existing or future neighborhood uses.
  - c. Will not be detrimental to property in the immediate vicinity or to the community as a whole.
  - d. Will be serviced adequately by essential public facilities and services such as highways, roads, police and fire protection, drainage structures, and refuse disposal; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service.
  - e. Will be in compliance with State, County and Township regulations, including applicable health, building, and electrical codes and subdivision regulations.
  - f. Will, with regard to traffic impacts and vehicular facilities, comply with the following.
    - i. Vehicular approaches to the property shall be designed and constructed in a manner which prevents undue interference with traffic on surrounding public roads.
    - ii. Traffic generated by the proposed use shall not differ in nature or volume from traffic generated by other uses permitted in the district or which cannot be reasonably served by the existing public roads. Where the proposed use generates traffic which differs in nature or volume from other uses permitted in the district, or where conditions of access to the lot on which the use is proposed create undue interference with traffic or an undue hazard, or where other characteristics of the traffic generated or the access conditions necessitate, the applicant shall provide for the improvements necessary to mitigate the traffic impacts.
    - iii. The use and site shall be in compliance with any provision of this Resolution which establishes minimum requirements for vehicular access for a specific conditional use, except when the Board of Zoning Appeals determines, on the basis of recommendations by a qualified traffic engineer, that other vehicular access arrangements are more appropriate to ensure public health and safety and the functioning of roads affected by the proposed use.
  - g. Will not employ loud speakers which cause a hazard or annoyance.

- h. Will not employ lighting which constitutes a nuisance or impairs safe movement of traffic on any road or highway or shines directly on adjacent properties.
- 7. Standards for Specific Conditional Uses. This Resolution provides for conditionally permitted uses that may be approved by the Board of Zoning Appeals in specified zoning districts. In considering whether to approve applications for those uses, the Board shall apply any specific standards set forth for those uses as well as the General Standards set forth in Section 20.2(C)(6) above.

**D. Applications and Procedures**

- 1. Complete Applications
  - a. Complete Application for Variance
    - i. The application must be notarized.
    - ii. List of the owners of all property located within one hundred fifty (150) feet of the subject property
    - iii. Legal description of the subject property
    - iv. Site plan and/or sufficient drawings to clearly delineate the proposal
    - v. Where the Planning & Zoning Director considers it necessary, the drawings submitted shall include floor plans, architectural elevations, and landscaping.
    - vi. Fees shall be paid to the Township at the time of submittal of variance applications pursuant to the fee schedule adopted by the Trustees.
  - b. Complete Application for Appeal. The applicant/appellant shall supply such information, documentation, drawings, photographs, and other evidentiary material as the appellant shall desire to rebut any order, requirement, decision or determination made by the Planning & Zoning Director or designee in the enforcement of the Zoning Resolution, and to provide the Board with grounds to reverse or modify the order under appeal.
  - c. Complete Application for Conditional Zoning Certificate
    - i. The application must be notarized.
    - ii. List of the owners of all property located within one hundred fifty (150) feet of the subject property
    - iii. Legal description of the subject property
    - iv. A complete description of the uses proposed, including hours of operation, and locations of uses upon the site
    - v. Site plan and/or sufficient drawings to clearly delineate the proposal
    - vi. When the Planning & Zoning Director considers it necessary, the drawings submitted shall include floor plans, architectural elevations, and landscaping.
    - vii. Fees shall be paid to the Township at the time of submittal of Conditional Zoning Certificate applications pursuant to the fee schedule adopted by the Trustees.

2. Procedures

- a. Application Submittal.
  - i. Copies of complete applications for variances, administrative appeals, and conditional zoning certificates shall be submitted to the Planning & Zoning Department on forms provided by the Department, together with copies of any required supplemental information required by this Resolution and as set forth in any adopted Rules and Regulations of the Board.
  - ii. Complete applications for variances, administrative appeals, and conditional zoning certificates shall be submitted not less than twenty (20) days prior to the next regular scheduled meeting of the Board in order to be considered by the Board at that meeting and to permit timely notice and review.
  - iii. The Planning and Zoning Department shall establish a written policy setting forth those types of applications which must be submitted in hard copy and those which may be submitted electronically.
- b. Transmittal to Board, Public Hearing Scheduled. The Planning and Zoning Department shall transmit complete applications to the Board and shall determine the date for public hearing according to the meeting schedule set by the Board, issuing notice to the Board, written notice to the applicant, and public notice as provided below.
- c. Public Notice
  - i. Mail Notice. Written notice to the applicant and owners of all property located within one hundred fifty (150) feet of the subject property shall be mailed by regular mail at least ten (10) days before the public hearing.
  - ii. Newspaper Notice. The Zoning Administrator shall publish notice in a newspaper of general circulation in the Township at least ten (10) days prior to the date of the hearing. The notice shall indicate the place, time, and subject of the hearing.
- d. Hearing and Board Action.
  - i. The Board of Zoning Appeals shall hold a public hearing within sixty (60) days after the receipt of a complete application for a variance, appeal, or conditional zoning certificate.
  - ii. The Board of Zoning Appeals shall act in accordance with the procedures specified by law, including this Resolution.
  - iii. Every decision of the Board shall be by motion.
  - iv. The Board shall take action not later than sixty (60) days after the date of the meeting at which a variance, appeal, or conditional use certificate is first considered by the Board, unless a longer time for consideration is agreed by the Board and the applicant.
  - v. An order of the Board shall be effective immediately upon conclusion of the Board vote.
- e. Applicant Request to Table or Withdraw Application; Re-Application.

- i. An application shall be tabled upon written request of the applicant submitted not less than ten (10) days before the date of the meeting at which the application is scheduled to be heard. Any other requests to table an application shall be made in person before the Board.
- ii. An applicant may withdraw an application at any time by submission of a letter or by verbal request before the Board. If a written request to withdraw the application is received by the Township Planning and Zoning Department before the Township incurs the cost of public notice, 100% of fees shall be refunded. A subsequent new hearing on the matter will constitute a new application
- iii. No appeal or application which has been denied wholly or in part by the Board of Zoning Appeals shall be resubmitted until the expiration of one (1) year or more from the date of denial, except on grounds of newly discovered evidence or proof of changed conditions sufficient to justify reconsideration as determined by the Board. Re-application one year or more after the date of original application shall be accompanied by the required fee.
- f. Amendment of Conditional Use Certificate. After the issuance of a conditional use certificate, no use which is not authorized by the certificate, or otherwise authorized by this Resolution, shall be established on the property which is subject to the certificate unless authorized by the Board.

## SECTION 20.3 ZONING COMMISSION

- A. Zoning Commission Created.** A Zoning Commission is hereby created as provided in Section 519.04 of the Ohio Revised Code and shall have all the powers and duties prescribed by law and by this Resolution.
- B. Membership.**
  - 1. The Commission shall be composed of five (5) members who reside in the unincorporated area of the township appointed by the Board of Trustees.
  - 2. Each member shall be appointed for a period of five (5) years. No member shall be appointed for more than two (2) consecutive terms. The terms of the members shall be of such length and so arranged that the term of one member will expire each year.
  - 3. Each member shall serve until the member's successor is qualified and appointed.
  - 4. Vacancies shall be filled by the Board of Trustees and shall be for the unexpired term.
  - 5. A member may be removed as provided by applicable law.
  - 6. Members may be allowed expenses and compensation as determined by the Township Trustees.
- C. Organization**
  - 1. The officers of the Commission shall be a Chairperson and Vice- Chairperson, to be elected at the first meeting of the Commission in each calendar year.

2. The Chairperson shall preside at meetings. The Vice Chairperson shall conduct any meeting when the Chairperson is absent.
3. The Commission shall prescribe rules and regulations for the conduct of its affairs not in conflict with this Resolution.

**D. Meetings and Quorum**

1. The regular meetings of the Howland Township Zoning Commission shall be held at the call of the Chairperson or on a schedule determined by the Commission.
2. Special sessions may be called by the Chairperson, or at the request of two members, provided that notice of the same has been given by mail or in person to each member at least twenty-four (24) hours before the time set, except that the announcement of a special session at any meeting at which a quorum is present shall be sufficient notice of the meeting.
3. All meetings and hearings shall be open to the public.
4. A quorum of the Commission shall consist of three (3) members.
5. The members of the Commission shall attend the meetings in person.

**E. Public Notice.** The Zoning Commission shall, prior to holding any meetings or taking any action, issue public notice as required by the Ohio Revised Code and by the provisions of this Resolution.

**F. Record of Proceedings.** A record of all meetings and hearings, examinations and other official actions shall be made for the files. The record of each meeting and hearing shall show the vote of each member on every question.

**G. Powers and Duties.** The Howland Township Zoning Commission shall have the following powers.

1. The Commission shall hear requests and applications for zone changes and for amendments or supplements to the zoning resolution.
2. Upon compliance with the procedure set forth in the Ohio Revised Code, including RC 519.12, the Commission shall, within thirty (30) days after its public hearing, recommend the approval or denial of the proposed amendment or supplement or the approval of some modification and submit the recommendation together with the application or resolution, the applicable text and map, and the recommendation of the county planning commission to the Board of Township Trustees.
3. The Commission shall have other duties authorized by the Township Trustees and consistent with applicable law.

**H. Action by the Commission**

1. Every decision of the Commission shall be by motion.
2. The Commission may, on motion of any member, review any decision that it has made and may reverse, or modify the decision by resolution.
3. A concurring vote of three (3) members present shall be necessary to take action, make decisions, or act on any authorization.

## SECTION 20.4 ZONING AMENDMENTS

- A.** The Howland Township Zoning Resolution may be amended as provided by the Ohio Revised Code Section 519.12.
- B. Application.** An owner or lessee of property proposing an amendment shall submit an application providing at least the following.
1. Name, address, and phone number of the applicant
  2. Proposed text amending the Resolution or the legal description of property proposed to be rezoned.
  3. Description of current uses of the subject property and current zoning district.
  4. Description of proposed uses of the subject property and proposed zoning district.
  5. A vicinity map indicating property lines, existing structures and roads
  6. The names and tax mailing addresses of the owners of all properties located within, contiguous to or across the street from the properties proposed to be rezoned.
  7. An application fee as required by resolution of the Township Trustees
  8. Other information as required by the Zoning Commission
- C. Filing.** The application shall be submitted to the Zoning Administrator who shall file the application with the Zoning Commission at its next regularly scheduled meeting which shall be considered the original filing date.
- D. Factors for Consideration in Rezoning Application<sup>37</sup>.**

Pursuant to the Township's authority under Ohio Revised Code (ORC) Chapter 519 Township Zoning, the following factors shall guide the Township Zoning Commission when evaluating an application for a zoning map amendment. These criteria are designed to ensure that all rezoning decisions promote public health, safety, and general welfare, and are consistent with sound planning principles. No single factor shall be controlling; the Commission may balance these factors based on the evidence presented. They are intended to guide decision-makers in a structured, consistent, and transparent manner. They do not obligate approval or denial but provide a framework for evaluating each rezoning request on its merits.

1. Consistency and Planning Guidance
  - a. Comprehensive Plan Conformance. Whether the proposed zoning map amendment is consistent with, and would further the goals, policies, and Future Land Use Map of the Howland Comprehensive Community Plan.
  - b. Adopted Plans and Studies. Whether the proposal aligns with any relevant adopted small-area plans, corridor plans, transportation plans, or similar policy documents.
  - c. Changed Conditions. Whether the proposed amendment is necessitated by changed or changing conditions in the surrounding area, including but not limited to infrastructure improvements, market trends, population shifts, or other relevant land-use changes.

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<sup>37</sup> Added June 12, 2026

2. Land Use Compatibility
  - a. Neighborhood Character. The character, pattern, scale, and condition of the surrounding neighborhood and the anticipated effect of the proposed zoning classification on that character.
  - b. Adjacent Zoning and Land Uses. The zoning and existing land uses of nearby properties, as well as the potential impact of the proposed district on those properties.
  - c. Permitted-Use Compatibility. Whether all uses permitted within the proposed zoning district would be compatible with surrounding properties and the general vicinity, taking into account use intensity, traffic generation, noise, lighting, hours of operation, and similar factors.
3. Site Suitability
  - a. Reasonableness of Existing Zoning. The suitability of the applicant's property for the uses permitted under its current zoning classification.
  - b. Physical Characteristics. Whether the site's physical features—including terrain, natural resources, wetlands, floodplains, access constraints, and other environmental conditions—support the proposed zoning.
  - c. Vacancy or Nondevelopment. The length of time the subject property has remained vacant or undeveloped under its existing zoning, along with the reasons for such vacancy or non-development. Vacancy alone should not justify rezoning unless tied to market failures, outdated zoning, or other changed conditions.
4. Infrastructure and Public Services
  - a. Utilities and Services. Whether adequate water, sewer, stormwater management, and other necessary public utilities exist or can be reasonably provided to support all permitted uses in the proposed zoning district.
  - b. Transportation and Traffic. Whether existing roads and intersections can safely and efficiently accommodate the traffic and access patterns associated with the proposed zoning and its permitted uses.
  - c. Public Safety and Facilities. The availability and capacity of police, fire, EMS, schools, and other public services to serve the property if rezoned.
5. Public Interest and Welfare
  - a. Public Benefit vs. Private Hardship. Whether the expected public benefits of the proposed rezoning outweigh any claimed hardship to the applicant from maintaining the current zoning classification. Note that a hardship is not a variance-type hardship. Rezoning is a legislative action, not an entitlement.
  - b. Community Health, Safety, and Welfare. The extent to which the proposed zoning district promotes the public health, safety, and general welfare of the Township and its residents.
  - c. Fiscal and Economic Considerations. Whether the proposed amendment is likely to have a positive, neutral, or adverse fiscal impact on Township services, infrastructure, and long-term economic stability.

6. Additional Considerations
  - a. Supply of Similarly Zoned Land. The general amount of vacant or underutilized land in the Township with the same proposed zoning classification, including the practicality of developing such land.
  - b. Environmental Impacts. Potential impacts to natural features, water quality, habitat areas, and other environmental resources.
  - c. Other Relevant Factors. Any other factors or evidence presented during the application review process that may be relevant to determining the appropriateness of the proposed zoning amendment.

## SECTION 20.5 ZONING ADMINISTRATORS

- A. The position of Township Zoning Administrator is hereby created. The Township Zoning Administrator and such assistants as may be determined necessary, shall be appointed by the Board of Township Trustees and shall receive such compensation as the Board of Township Trustees may provide.
- B. It is the intent of this Resolution that all questions of interpretation and enforcement shall be first presented to the Zoning Administrator and that such questions shall be presented to the Board of Zoning Appeals only on appeal from the decision of Zoning Administrator and that recourse from the decision of the Board of Zoning Appeals shall be to the courts as provided by law.
- C. The Township Zoning Administrator shall.
  1. Administer and enforce the provisions of this Resolution.
  2. Upon application, issue Zoning Permits in appropriate cases where there has been compliance with the provisions of this Zoning Resolution.
  3. Issue Certificates of Zoning Compliance upon inspection and determination that the use of a structure and/or land conforms to the approved plan and use filed with the Zoning Administrator, upon which a Zoning Permit was issued.
  4. Maintain records of all applications for Zoning Permits, Certificates of Zoning Compliance, Appeal or Variance, Zoning Amendments, Conditional Use Permits, and other permits and the action taken thereon. The Zoning Administrator shall also allow for the public inspection of all official zoning records and provide copies upon request to any person.
  5. Conduct routine inspection of the Township to identify zoning violations, and monitor the progress of construction projects to verify on-site compliance with zoning regulations.
  6. Maintain in current status the Zoning District Map, which shall be kept on permanent display in the Township.
  7. Respond to questions and accept applications for appeals or variances, applications for amendments to the Zoning Resolution and Zoning District Map, conditional use permit applications, and other matters relating to this Resolution.
- D. The Zoning Administrator may recommend to the Township Zoning Commission and the Board of Township Trustees amendments to the Zoning Resolution or Zoning Map, whenever public necessity or good zoning practices require such changes to be made.

## SECTION 20.6 PERMITS AND CERTIFICATES

### A. Zoning Certificate

1. Application Required. Application shall be made to the Township Zoning Administrator for a zoning certificate prior to.
  - a. New uses of lots and building; change in use of an existing building, accessory building, or lot; and change in occupancy of a vacant commercial building *See 20.6 B regarding New Business Certificate.*
  - b. New building construction or building floor area expansion
  - c. Exterior modifications to an existing building
  - d. New parking lot or expansion of existing
  - e. New or expanded outdoor storage or display area
  - f. New or expanded drive through facility
  - g. New sign, fence, wall, enclosure, deck or other accessory structure
  - h. Other alterations to a site (for example, reconfiguring of parking, buffers, green spaces, etc.) for which compliance with this Resolution is required
  - i. Structural alteration of any building or structure, including accessory buildings.
  - j. Where required by the provisions of the zoning district,
    - resurfacing of any part of the exterior of a structure including but not limited to the roof or walls of a building or parts of a fence, wall, enclosure, or sign
    - repainting or refinishing any part of the exterior of a structure where new materials or colors are used
    - Installation of new landscaping, other than replacement of previously approved
  - k. Such other construction, use of land, or other activity for which a zoning certificate is otherwise required by this Zoning Resolution.
2. Application Not Required.
  - a. No zoning certificate shall be required for agricultural buildings which are exempt from such permits according to the Ohio Revised Code. Prior to the construction of an exempt agricultural building, however, the owner of property on which the building shall be constructed shall file an affidavit with the Township Planning and Zoning Department attesting that the building shall only be used or shall primarily be used for agricultural purposes
  - b. A Zoning Permit shall not be required for a temporary removable structure as part of a construction project, nor for the construction of roads, sewers, service lines, pipe lines or driveways.
3. Permit Required before Construction. No construction, alteration, occupancy, use or change of use, as specified in this section, shall take place until a Zoning Permit has been issued by the Zoning Administrator .

4. Responsible Party. The owner or lessee, their agent, employee, or delegate (including contractors, sub-contractors, and individual craftsmen) shall be responsible for obtaining a Zoning Certificate as required by this Section; and a violation of this requirement shall be enforceable against any of the aforementioned persons, corporations, partnerships or associations, either by civil or criminal action as provided by law.
5. Application. The applicant shall submit an Application for Zoning Certificate form, provided by the Township, and shall indicate the exact location of the proposed construction, alteration, or change of zoning use and shall include a plot plan, plans and specifications showing proposed locations and dimensions of the building and the proposed zoning use, all of which shall be included in the permanent record of applications. The Application shall be accompanied by and have as a part thereof a diagram showing the proposed location of said building, structure or sign and the location of adjacent buildings, structures, and roads, indicating setback distances and yards and other illustrations and information as reasonably required by the Zoning Administrator to determine and document compliance of the proposal with this Resolution.
6. Fees. Fees for zoning certificates shall be submitted as required by Resolution of the Township Trustees.
7. Issuance or Denial. After receipt of all required information and completion of all required application reviews, the Zoning Administrator shall issue a zoning certificate if the proposal complies with the provisions of this Resolution. The Zoning Administrator shall deny a permit if the proposal does not comply with the provisions of this Resolution. The Zoning Administrator may refuse to issue a Zoning Permit in the event that the applicant fails to supply information reasonably required.
8. Inspection. The proposed building location shall be staked and a site inspection shall be made with the Township Zoning Administrator prior to the commencement of construction.
9. Emergency. In the event of an emergency, including fire, windstorm, flood or other acts destroying totally or partially a dwelling house, building, or structure making the same uninhabitable or unusable, the Zoning Regulations herein may be temporarily suspended insofar as they may apply at the discretion of the Zoning Administrator, by permitting a temporary structure to be used in the place of such destroyed building while the destroyed building is being repaired or replaced in accordance with the requirements of this Resolution. Under said conditions, the Zoning Administrator may permit the use of tents, trailers, or buildings for a six (6) month period.
10. Expiration.
  - a. A Zoning Certificate shall expire one (1) year from the date of issuance unless construction or the change of use has commenced.
  - b. A Zoning Certificate shall expire two (2) years from the date of issuance unless construction or the change of use has been completed.
  - c. Upon expiration, a new application for a Zoning Certificate shall be required.
  - d. The foregoing dates of expiration may be extended when the construction or use is subject to the terms of an approval by the Zoning Commission or

Board of Zoning Appeals, in which case expiration shall be as determined by that Commission or Board.

- e. The foregoing dates of expiration may be extended by the Zoning Administrator at the time the Certificate is issued provided that the Certificate is clearly marked with the expiration date and the reason for the extension.
11. Revocation. A Zoning Permit shall be revocable with cause if the actual use, construction or alteration does not conform to the terms of the Application and the Permit granted thereon

**B. Business Use Certificate**

- 1. A Business Use Certificate shall be required prior to establishing a new use in a new building, a new use in an existing building, a change of use in an existing building, or a change of occupant in an existing building.
  - a. Located on any property in a CRD-OI, CRD-1, CRD-2, C, or I District.
  - b. Located on any property in any zoning district upon which a business or industrial use has previously been established or authorized, including but not limited to such circumstances as legally established nonconforming uses and business use sites within planned districts.
- 2. The owner or lessee of the building shall submit a Business Use Certificate application to the Zoning Administrator.
- 3. The Zoning Administrator shall review the Business Use Certificate application to determine compliance with this Resolution and shall either.
  - a. Issue a Business Use Certificate authorizing the use in compliance with this Resolution; or
  - b. Inform the applicant that the application has been denied, stating the grounds for denial.

**C. Conditional Use Certificate**

When a use or construction has been approved subject to a conditional use certificate ordered or approved by the Board of Zoning Appeals, the use or construction shall be subject to all conditions, standards, agreements, or other special provisions established by the Board in issuing the order or approval. The Zoning Administrator shall issue a Conditional Use Certificate in the same manner as set forth for a Zoning Certificate or for a Business Use Certificate except for any specific orders of the Board as to the manner of issuance, which shall be referenced or attached to the Permit, and enforce the specific conditions, standards, agreements, or other special provisions established by the Board.

**SECTION 20.7 FEES**

- A.** Fees for applications, zoning certificates, variances, appeals, conditional zoning certificates, business use certificates, engineering services, and other zoning authorizations and services shall be submitted by applicants and other parties as required by Resolution of the Township Trustees.
- B.** Unless otherwise provided, fees shall be paid at the time of application or request for service.

- C. A receipt for all fees paid by the applicant shall be issued by the Township Fiscal Officer, and the fees shall be turned over to the Township Trustees for proper disbursement according to law.

## SECTION 20.8 ENFORCEMENT

- A. The Zoning Administrator shall, upon finding that any of the provisions of this Resolution are being violated, notify in writing the person responsible for the violation, ordering the action necessary to correct the violation, and keep an accurate record of the zoning enforcement procedures conducted for the violation.
- B. The Zoning Administrator shall order discontinuance or removal of illegal uses of land, buildings or structures.
- C. The Zoning Administrator shall take any other action authorized by this Resolution or designated by the Township Trustees to ensure compliance with or to prevent violation of this Resolution.
- D. The Zoning Administrator is authorized to make inspections of properties and structures at any reasonable hour, for the purposes of enforcing this Resolution. Prior to entry to any property or structure, the Zoning Administrator shall attempt to obtain the permission of the owner/occupant, or designated agent, to inspect. If such permission is denied or cannot be obtained, the Zoning Administrator shall request the assistance of the County Prosecutor or Township Legal Advisor to secure a valid search warrant or other legal means prior to entry.
- E. **Penalty.** As provided in Section 519.99 of the Ohio Revised Code, or as amended, whoever violates the provisions of this Zoning Resolution shall be fined not more than five hundred dollars (\$500.00) for each offense.
- F. In case any building is or is proposed to be located, erected, constructed, reconstructed, enlarged, changed, maintained, or used or any land is or is proposed to be used in violation of sections of the Ohio Revised Code, or of any regulation or provision adopted by the Howland Township Board of Township Trustees under such sections, the Board, the prosecuting attorney of the county, the Zoning Administrator, or any adjacent or neighboring property owner who would be especially damaged by such violation, in addition to other remedies provided by law, may institute injunction, mandamus, abatement, or any other appropriate action or proceeding to prevent, enjoin, abate, or remove such unlawful location, erection, construction, reconstruction, enlargement, change, maintenance, or use. The Board of Township Trustees may employ special counsel to represent it in any proceeding or to prosecute any actions brought under this section.

# SECTION 21 DEFINITIONS<sup>38</sup>

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## SECTION 21.1 GENERAL RULES OF USAGE AND CONSTRUCTION.

The following shall be applicable to all provisions of this Resolution.

- A** Words used in this Resolution in the present tense shall be interpreted to include the future tense; words used in the singular number shall include the plural number, and the plural number shall include the singular number.
- B** The word "SHALL" as used in this Resolution is mandatory and not discretionary. The word "may" is permissive.
- C** The word "STRUCTURE" shall include the word "BUILDING".
- D** The masculine gender as used in this Resolution shall include the feminine and neuter gender, and vice-versa.
- E** The word "used" or "occupied" shall include the words "arranged, designed, constructed, altered, converted or intended to be used or occupied".
- F** A "person" shall mean, in addition to an individual, a firm, corporation, association or any legal entity which may own and/or use land or buildings.
- G** The word "herein" means "this Resolution".
- H** The provisions of this Resolution shall be construed to achieve the purposes and intent for which they are adopted.
- I** In the event of a conflict between the text of this Resolution and any caption, figure, illustration, table, or map, the text of this Resolution shall control. In the event of any conflict between a chart and an illustration, the chart shall control. All illustrations included in this Resolution are for illustrative purposes only.
- J** An act authorized by this Resolution to be carried out by a specific official or agency of the Township is impliedly authorized to be carried out by a designee of the official or agency.
- K** The time within which an act is to be done shall be computed by excluding the first and including the last day. If the last day is a Saturday, Sunday, or a legal holiday, that day shall be excluded.
- L** Any reference to the Ohio Revised Code or to other state or federal statutes or rules or those of other agencies having jurisdiction shall be construed to be a reference to the most recent enactment of the statute or rule, and shall include any amendments as may from time to time be adopted.
- M** Words written in italics are provided only for the purposes of reference and are not part of the adopted Zoning Resolution.

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<sup>38</sup> Updated June 12, 2026

## SECTION 21.2 DEFINITIONS

**ACTIVE STREETSCAPE** is an environment designed to encourage people to walk, linger, and interact. Key elements commonly include sidewalks, crossings, human-scale building frontages, and street amenities like lighting, benches, or visual art. **ADT**. Average Daily Traffic, the average number of vehicles two-way passing a specific point in a 24-hour period, normally measured throughout a year.

**ADULT BOOK STORE**. An establishment that utilizes any of its retail selling area for the purpose of retail sale or rental, or for the purpose of display by coin or slug-operated, or electronically, electrically or mechanically controlled still or motion picture machines, projectors, or other image-producing devices, or both, books, magazines, other periodicals, films, tapes and cassettes which are distinguished by their emphasis on adult materials.

**ADULT DAY CARE CENTER**. Facility operated for the purpose of providing care, protection and guidance to ten or more individuals eighteen (18) years of age or older during only part of a 24-hour day. This term excludes facilities offering care to individuals for a full 24-hour period.

**ADULT ENTERTAINMENT BUSINESS**. An adult book store, adult motion picture theater, adult drive-in motion picture theater, or an adult-only entertainment establishment.

**ADULT MATERIAL**. Magazine, newspaper, pamphlet, poster, print, picture, slide, transparency, figure, image, description, motion picture film, phonographic record or tape, other tangible thing, or any service capable of arousing interest through sight, sound, or touch, and;

- a. Which material is distinguished or characterized by an emphasis on matter displaying, describing, or representing sexual activity masturbation, sexual excitement, nudity, bestiality, or human bodily functions of elimination; or
- b. Which service is distinguished or characterized by an emphasis on sexual activity, masturbation, sexual excitement, nudity, bestiality, or human functions of elimination.

**ADULT MOTION PICTURE THEATER**. An enclosed motion picture theater which is regularly used or utilized for presenting material distinguished or characterized by an emphasis on matter depicting, describing or related to adult material.

**ADULT MOTION PICTURE THEATER DRIVE-IN**. An open air drive-in theater which is regularly used or utilized for presenting material distinguished or characterized by an emphasis on matter depicting, describing or related to adult material.

**ADULT ONLY ENTERTAINMENT ESTABLISHMENT**. An establishment where the patron directly or indirectly is charged a fee where the establishment features entertainment or services which constitute adult material as defined in this section, or which features exhibitions, dance routines, gyrational choreography of persons totally nude, topless, bottomless, or strippers, male or female impersonators or similar entertainment or services which constitute adult material.

**AGRICULTURE**. Use of land which is defined by the Ohio Revised Code as "agriculture".

**AGRICULTURE PROCESSING PLANT**. A facility used for the cooking, dehydrating, refining, bottling, canning, or other treatment of agricultural products which changes the naturally grown product for consumer use. Use may include warehousing and packaging as secondary uses. The use does not generate dust, noise, odors, or pollutants.

**ALTERNATIVE TOWER STRUCTURE**. Man-made trees, clock towers, bell steeples, light poles, and similar alternative-design mounting structures that camouflage or conceal the presence of towers or antennas.

**AMPHITHEATER/STADIUM/ARENA**. An open, partially enclosed, or fully enclosed facility used primarily for commercial spectator sports, entertainment events, expositions, and other large public gatherings.

AMUSEMENT PARK. A commercially operated park that may include structures and buildings, with a predominance of outdoor games and activities for entertainment, including motorized rides, water slides, miniature golf, batting cages, and the like. The park may also sell food and drink.

ANTENNA. Any system of wires, poles, rods, reflecting discs, or similar devices used for the transmission or reception of electromagnetic waves whether located separate from or attached to the exterior of a building or other accessory structure.

APPEAL, ADMINISTRATIVE APPEAL. A request to the Board of Zoning Appeals for review and action regarding a decision or action taken by the Zoning Administrator or other authorized public official in the administration or enforcement of this Resolution.

ART GALLERY. An establishment primarily engaged in the display or loan of art, books, paintings, sculpture, or other works of arts. The sale of art is secondary or accessory to its exhibition.

ART STUDIO AND WORKSHOP. An establishment or workspace primarily for the preparation, display, and sale of individually crafted artwork, jewelry, furniture, sculpture, pottery, leathercraft, hand-woven articles, and related items.

AUTOMOBILE, TRUCK, AND TRACTOR SALES (NEW OR USED). The sales or leasing of new or used automobiles, trucks, or tractors.

AUTOMOTIVE WRECKING, SALVAGE, OR JUNK FACILITIES shall mean the dismantling or wrecking of vehicles at a facility as defined and regulated in Section 4738 of the Ohio Revised Code. Such uses may include the storage or sale of junk vehicles, inoperable vehicles, or parts and to include places for the collection or sale of scrap metal, salvaged automobile parts, paper, rags, glass, junk for salvage or storage purposes, storing old tires.

BANQUET HALL. An establishment that is rented by individuals or groups to accommodate private functions including, but not limited to, banquets, weddings, anniversaries, or other similar celebrations.

BAR, LOUNGE, AND TAVERNS. An area primarily devoted to the serving of alcoholic beverages and in which the service of food is only incidental to the consumption of such beverages.

BEACON LIGHTING. Any sources of electric light, whether portable or fixed, the primary purpose of which is to cast a concentrated beam of light generally skyward as a means of attracting attention to its location rather than to illuminate any particular sign, structure, or other object.

BEST MANAGEMENT PRACTICES (BMP's). Conservation practices or protection measures which reduce impacts from a particular land use. Best Management Practices for construction are outlined in "*Rainwater and Land Development, Ohio's Standard for Stormwater Management, Land Development, and Urban Stream Protection*" prepared by the Ohio Department of Natural Resources.

BODY ART. The practice of physical body adornment by establishments and artists using but not limited to the techniques of body piercing and tattooing. The definition excludes tattooing as a minor accessory to a barber shop or beauty parlor.

BOARD OF ZONING APPEALS, also known as "the BZA". The Board, comprised of Township residents appointed by the Township Trustees, established to serve the zoning functions authorized by the Ohio Revised Code and this Resolution, including but not limited to reviewing and deciding action upon zoning variance and appeal requests.

BOARDING KENNELS. Any kennel where household pets owned by another person are temporarily boarded for pay, trade, barter, or commission provided that this definition does not apply to animal hospitals operated by veterinarians where the boarding of pet animals is associated with their medical care.

BOARDING OR TENANT HOUSING. A building, other than a hotel or motel, where lodging or rooms, or both, are provided for compensation, whether directly or indirectly, and by prearrangement for definite periods for three or more persons

**BUFFER, BUFFER ZONE.** A strip of land or other feature(s) of a site designed and constructed in a manner intended to reduce negative impacts generated by uses located on the site onto abutting sites or nearby areas. As provided in this Resolution, buffers may include specific distances or spatial separations or features such as plants, fences, earthen mounds, or other features.

Where not otherwise specifically provided in this Resolution, a buffer shall at minimum comply with the following standards.

1. On a lot on which a commercial or industrial use is conducted, a strip of land adjacent to and parallel to any property line abutting a lot used for a dwelling shall be designated as the buffer. The purpose of the buffer shall be to block the view from the residential use to the abutting use.
2. Landscaping material (trees, shrubs, etc.) to a height of six (6) feet or a fence to a height of six (6) feet shall be installed and permanently maintained within the buffer.
3. If a fence is utilized, it must be of a material or design sufficient to obscure a view of the abutting use, and the side facing the residential use must be finished so as to provide a good cosmetic appearance. Such a fence must also conform to all regulations in this Resolution for "Fences". If landscaping material is utilized, it must be designed to achieve a fence equivalent in terms of height and of a design sufficient to obscure a view of the abutting use immediately upon planting; and the landscape material must be continuously maintained in a manner which achieves those requirements. At any such time the landscape material does not meet the buffer requirements, replacement will be required. The landscaping material or fence must be located along the inside edge of the buffer strip and not on the property line.
4. The buffer strip shall be clear of any other structures or driveways, and no parking or other uses related to the commercial or industrial use shall be permitted within the strip. The regulation for fences within the set-back area is modified to allow for a six (6) foot fence, but shall not be located any closer than thirty (30) feet from the right-of-way of the street along the front property line.

**BUFFER, PERIMETER** A landscaped area along the outermost project boundaries that serves as a buffer between incompatible uses and zoning districts, as an attractive boundary of the parcel or use, or as both a buffer and attractive boundary.

**BUILDING.** A structure having a roof supported by columns or walls for shelter, support, or enclosure of persons, animals or chattels.

**BUILDING LINE.** A line coincident with and parallel to a front, side, or rear foundation line of the principal building (or line of a covered porch, but not including uncovered steps or walks) which is closest to the corresponding front, side, or rear lot line. Where the foundation is an irregular line, the nearest segment of the foundation shall be the location of the building line. The building line forms a boundary of the corresponding front, side, or rear yard.

**BUILDING LINE SCHEME.** The predominant placement of residential structures on a street related to the front setback line.

**BUSES.** The operation, maintenance, storage, or housing of commercial buses or school buses

**BUSINESS USE CERTIFICATE.** A zoning permit authorizing structures and or uses in business districts as required by this Resolution.

**CAPTURED OR CHANNELIZED STREAMS.** Streams that are considered captured or channelized are those that are constructed in waters of the U.S. or connect two waters of the U.S., and they possess a defined ordinary high water mark (OHW), and they possess a defined channel and evidence of stream flow.

**CARPOR.** A roofed structure not more than fifty percent (50%) enclosed by walls or doors for the purpose of providing shelter to one or more motor vehicles.

**CEMETERY.** A place of interment of human or animal remains or cremated remains, including a burial park for earth interments, a mausoleum for vault or crypt interments, a columbarium for cinerary interments or a combination thereof.

**CHANGE OF USE.** The replacement of an existing use by a new use, or a change in the nature of the existing use, or the addition of a new category of use to an existing use, but not including a change of ownership, tenancy, or management where the previous nature of the use, line of business, or other function is substantially unchanged.

**CHILD DAY CARE CENTER.** A child daycare center is a place that provides day care or publicly funded daycare to thirteen or more children at one time or any place that is not the residence of the licensee or administrator where child day care is provided to seven to twelve children at one time.

**CHIMNEY.** A vertical shaft of reinforced concrete, masonry, or other approved material enclosing one or more flues, for the purpose of removing products of combustion from solid, liquid, or gaseous fuel.

**CINEMA, MOTION PICTURE, OR PERFORMING ARTS THEATER (INDOOR) .** A structure used for dramatic, operatic, motion pictures, or other performances for admission to which entrance money is received.

**CIVIC SPACE** is a publicly accessible open space designed and intended for community use, including plazas, greens, squares, commons, courtyards, pocket parks, or similar areas that function as focal points for social interaction, community gatherings, recreation, or public events. Civic spaces may be publicly owned or privately maintained, but must remain open and accessible to the public during normal hours of operation and shall be designed with pedestrian-oriented amenities such as seating, landscaping, walkways, and lighting.

**COLLOCATION.** The use of a wireless telecommunication tower and/or attendant facility by more than one wireless telecommunication provider.

**COMMON DRIVE** Shared access that serves up to four separate single-family residential parcels, each having public street frontage.

**COMMON DRIVEWAY.** A driveway serving two or more structures or parking areas which are located on individual lots.

**COMMERCIAL BANNER.** A temporary commercial sign made of cloth, canvas or other light material, installed and maintained as provided in this Resolution.

**COMMERCIAL SPEECH.** Expression regarding products or services.

**COMMUNITY GARDEN** A private or public facility for cultivation of fruits, flowers, vegetables, or ornamental plants by more than one person or family.

**COMPOSTING FACILITY.** A facility where organic matter that is derived primarily from off-site is to be processed by composting and/or is processed for commercial purposes. Activities may include management, collection, transportation, staging, composting, curing, storage, marketing or use of compost.

**CONDITIONAL USE CERTIFICATE, CONDITIONAL ZONING PERMIT.** A zoning permit issued subject to a conditional use authorization and conditions established by the Zoning Commission.

**CONIFEROUS TREE OR SHRUB.** An evergreen, cone-bearing tree or shrub.

**CONSTRUCTION.** Any man-made change to improved or unimproved real estate, including but not limited to activities creating or adding to buildings, accessory structures, pavements, utilities, or the excavation, grading or filling of ground. The start of construction occurs when ground is broken for the purpose of the erection of any building, accessory structures, underground utilities or the like falling under the jurisdiction of these Resolutions.

**CONSTRUCTION AND DEMOLITION DEBRIS.** As defined in Section 3714.01 of the Ohio Revised Code. Means those materials resulting from the alteration, construction, destruction, rehabilitation, or repair of any physical structure that is built by humans, including, without limitation, houses, buildings, industrial or commercial facilities, or roadways. "Construction and demolition debris" includes particles and dust created during demolition activities. "Construction and demolition debris" does not include materials identified or listed as solid wastes or hazardous waste pursuant to Chapter 3734. of the Revised Code and rules adopted under it; materials from mining operations, nontoxic fly ash, spent nontoxic foundry sand, and slag; or reinforced or non-reinforced concrete, asphalt, building or paving brick, or building or paving stone that is stored for a period of less than two years for recycling into a usable construction material.

**CONSTRUCTION AND DEMOLITION MATERIAL FACILITY.** As defined in Section 3714.01 of the Ohio Revised Code means any site, location, tract of land, installation, or building used for the disposal of construction and demolition debris. "Facility" does not include any construction site where construction debris and trees and brush removed in clearing the construction site are used as fill material on the site where the materials are generated or removed and does not include any site where materials composed exclusively of reinforced or non-reinforced concrete, asphalt, clay tile, building or paving brick, or building or paving stone are used as fill material, either alone or in conjunction with clean soil, sand, gravel, or other clean aggregates, in legitimate fill operations for construction purposes or to bring the site up to a consistent grade.

**CONSTRUCTION EQUIPMENT SALES.** Retail establishment selling or renting heavy construction equipment, including cranes, earth moving equipment, heavy trucks, etc..

**CONTRACTOR OR CONSTRUCTION SALES.** establishments primarily engaged in retail or wholesale sale, from the premises, of materials used in the construction of building or other structure, but specifically excluding automobile or equipment supplies otherwise specified within this Resolution.

**CORNICE** Any horizontal member, structural or non-structural, of any building projecting outward from the exterior walls at the roofline, including eaves and other roof overhang.

**CORRELATED COLOR TEMPERATURE (CCT).** a measurement used to describe the color characteristics of light emitted by a source. It quantifies the appearance of white light, indicating how "warm" or "cool" the light appears based on its color spectrum.

**COVERAGE, BUILDING.** The land area occupied by buildings or structures under roof, measured from the exterior walls.

**COVERAGE, IMPERVIOUS SURFACE.** Any paved, hardened, or structural surface regardless of its composition including but not limited to buildings, roads, driveways, parking lots, loading/unloading areas, decks, patios, and swimming pools.

**CREMATORY.** A location containing properly installed, certified apparatus intended for use in the action of cremation in association with funeral or veterinary services or a stand-alone facility.

**CROSS ACCESS.** A driveway providing vehicular access between two or more contiguous sites.

**CURB CUT.** A location at which access to a lot from a public right-of-way is authorized.

**CURB, CONCRETE CURBING.** Stone or concrete boundaries marking and containing the edge of a roadway, parking, or other paved surface and which may also contain vehicles within the paved area and direct storm water to inlet structures.

**CUT-OFF FIXTURE, DOWN LIGHTING.** A lighting fixture designed so that all light emitted by the fixture is projected below a horizontal plane running through the lowest point on the fixture where light is emitted.

**DAMAGED OR DISEASED TREES.** Trees that have split trunks; broken tops; heart rot; insect or fungus problems that will lead to imminent death; undercut root systems that put the tree in imminent danger of falling; lean as a result of root failure that puts the tree in imminent danger of falling; or any other condition that puts the tree in imminent danger of being uprooted or falling into or along a watercourse or onto a

structure.

**DANGEROUS PETS.** Refers to any animal, reptile, bird, fish, or insect, which is trained, restrained, confined, and cared for in a way which demonstrates ownership and which poses a threat of physical harm to humans or which creates a nuisance to the neighborhood.

**DENSITY.** The number of dwelling units constructed per gross acre, provided that actual permitted density of any property or development shall be determined on the basis of compliance with the provisions of this Resolution and other applicable regulations, including but not be limited to minimum lot dimensions, building setbacks, required public improvements, stormwater requirements, and subdivision regulations.

**DESIGNATED CORE AREA** is the area within the MXD intended to function as the primary activity node and characterized by a walkable development pattern, a mix of nonresidential and residential uses of high-quality building design. This area permits a greater building height than the surrounding area.

**DESIGNATED WATERCOURSE.** A watercourse within Howland Township that is in conformity with the criteria set forth in this regulation.

**DEVELOPER.** Any individual, corporation, partnership, or entity which owns property that is subject to the standards and regulations set forth in this Resolution or which finances, manages, designs, administers, or invests in the development or redevelopment of the property.

**DEVELOPER'S ENGINEER.** A person licensed as a professional engineer by the State of Ohio and who provides engineering services to or otherwise represents a developer.

**DISCOUNT RETAIL.** A retail use that offers for sale a combination and variety of convenience shopping goods and consumer shopping goods and continuously offers a majority of the items in their inventory for sale at a price less than \$10.00 per item, and that is not primarily a grocery store.

**DOMESTIC ANIMAL** Shall include, but not limited to, horses, cows, llamas, alpaca, goats, sheep, pigs and fowl. For the purpose of this resolution "domestic animal" does not mean a "household pets".

**DONATION/DROP BOX.** A secured receptacle into which items such as donated clothing can be deposited. This definition excludes library book drop-off or food pantry boxes.

**DORMER** shall mean a structure containing a vertical window or windows that projects through a pitched roof.

**DRIVE IN OR DRIVE UP RESTAURANT.** An establishment which furnishes food or drink to patrons who remain in their vehicles.

**DRIVE THROUGH FACILITY** (also, "drive in", "drive up", or "drive thru"). A business establishment or an accessory use of a business establishment designed to dispense products or services to patrons who remain in vehicles.

**DRIVEWAY.** That area of a lot reserved for vehicular ingress and egress to the main structure or parking areas or other areas on a lot and consisting of a hard surface of gravel, asphalt, concrete, brick, stone, or porous pavers.

**DRY CLEANING.** A facility used for cleaning fabrics, textiles, wearing apparel, or articles of any sort by immersion and agitation, or by immersions only, in volatile solvents, and the processes incidental thereto. The facility is also used by the public to pick up dry cleaning and/or have it delivered.

**DWELLING.** A building which contains one or more dwelling units. The term "dwelling" includes traditional "site built" dwellings, modular, and permanently sited manufactured homes. The term "dwelling" does not include a recreational vehicle or a mobile home as defined herein and does not include a hotel, motel, or other building used for transient residents. All dwellings shall comply with the requirements of applicable building, safety, and health codes.

DWELLING, MULTIFAMILY. A building containing three (3) or more dwelling units where each unit is provided an individual entrance to the outdoors or to a common hallway. Condominiums, townhouses, and apartments may be forms of multifamily dwellings.

DWELLING, SINGLE FAMILY. A dwelling entirely detached and independent from any other principal structure, arranged, intended, designed and constructed or reconstructed to be occupied by a single family.

DWELLING, TWO FAMILY. A family dwelling entirely detached and independent from any other principal structure, arranged, intended, designed and constructed or reconstructed to be occupied by two families.

DWELLING UNIT. One or more rooms within a building arranged, intended, designed and equipped for independent occupancy by a family, or by an individual or a group of individuals, for living and sleeping purposes and containing cooking, bathing, and toilet facilities for the exclusive use of the occupants. A room or rooms or structure which does not comply with or has not been approved according to the occupancy regulations of the building and health codes effective in Trumbull County and the Township shall not be deemed a dwelling unit.

EAVE The projecting lower edge of a roof overhanging the wall of a building.

EDUCATIONAL FACILITIES Buildings or structures used to teach students. Educational facilities may include primary schools, elementary schools, middle schools, or high schools. Educational facilities shall not include colleges, vocational schools, and other similar uses.

EFFECTIVE DATE. The date at which time these Howland Township Zoning Resolutions were initially adopted, and any dates of Amendments thereto, as adopted by the Howland Township Trustees.

ELECTRIC POWER GENERATION PLANT. An electrical power generation facility that, regardless of fuel or energy source, is operated by a public utility or independent power producer and whose primary function is the provision of electricity to the electrical distribution system or transmission grid.

ELECTRIC VEHICLE (EV). Any such vehicle that is licensed and registered for operation on public and private highways, roads, and streets; operates either partially or exclusively on electrical energy that is stored on-board via a battery for motive purposes. This definition shall include (1) battery electric vehicles, (2) plug-in hybrid electric vehicles, and (3) range-extended battery electric vehicles.

ELECTRIC VEHICLE CHARGING LEVELS. the standardized indicators of electrical force or voltage, at which an electric vehicle's battery is recharged.

Level-1 is considered slow charging. Voltage is generally 120.

Level-2 is considered medium charging. Voltage is generally 208 or 240.

Level-3 is considered fast or rapid charging. Voltage is greater than 240, typically 480.

ELECTRIC VEHICLE CHARGING STATION (EVCS). A public or private parking space that is served by battery charging station equipment for the purpose of transferring electric energy to a battery or other energy storage device in an electric vehicle.

ELECTRIC VEHICLE MAKE-READY STANDARDS. These standards prepare a parking lot for the future installation of EVCS. Make-ready standards require installing the main electrical panel with sufficient space and capacity to support the proposed EV spaces, with a dedicated branch circuit raceway and overcurrent protection device for every EVCS space. An electrical panel load calculation is required to demonstrate panel capacity.

ENGINEER. The engineer or engineering consulting group hired by the Township to perform engineering services to the Township.

EROSION. The wearing away of the ground surface as a result of the movement of wind, water, ice, and/or land disturbance activities.

**EROSION AND SEDIMENT CONTROL REGULATIONS.** Regulations that control the erosion of soil material, both mineral and organic, and minimize the removal of soil material from the land surface and to prevent its transport out of a disturbed area by means of wind, water, ice, gravity, or any combination of those forces.

**EXOTIC ANIMALS** Any cat, other than *felis catus*; any canine, other than *canis familiaris*, non-human primates; poisonous reptiles; alligators, crocodiles or lizards over two feet long; snakes over six feet long; bears; kangaroos; poisonous stinging insects; arachnids; any species of animal not indigenous to the local area, and similar animals as defined in the Ohio Revised Code.

**FAÇADE.** The exterior side of a building which faces, and is most nearly parallel to, a public or private roadway. The façade shall include the entire building walls, including wall faces, parapets, fascia, windows, doors, canopies, and visible roof structures of one complete elevation.

**FARM MARKET.** A structure used for the display and sale of agricultural products, subject to the limitations set forth under these Howland Township Zoning Resolutions.

**FARM STAND.** The use of any land or a structure for the sale of produce in accordance with the provision of this resolution.

**FAMILY.** Any number of individuals occupying a single dwelling unit provided that the number of individuals, the numbers of bedrooms, and the physical conditions and nature of occupancy of the dwelling shall comply with all applicable health and safety regulations.

**FEDERAL AVIATION ADMINISTRATION (FAA).** The federal agency, and any legally appointed, designated, or elected agent or successor.

**FEDERAL COMMUNICATIONS COMMISSION (FCC).** The federal agency, and any legally appointed, designated, or elected agent or successor.

**FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).** The agency with overall responsibility for administering the National Flood Insurance Program.

**FENCE.** A structure serving as an enclosure, barrier, or boundary usually constructed of posts, boards, wire or rails.

**FESTOON LIGHTING.** A type of illumination comprised of either a group of incandescent light bulbs hung or strung on a structure .

**FITNESS CENTER.** A facility where members or non-members, for a fee, use equipment or space for the primary purpose of physical fitness, improved circulation or flexibility, and/or weight control.

**FLAG.** A flag is a piece of fabric or other flexible material attached to or designed to be flown from a flagpole or similar device

**FLOODPLAIN, 100-YEAR.** Any land susceptible to being inundated by water from a base flood. The base flood is the flood that has a one percent or greater chance of being equaled or exceeded in any given year.

**FLOOR AREA, (FLOOR SPACE, USEABLE FLOOR SPACE).** The sum of the gross horizontal areas of the one or several floors of a building, measured from the exterior faces of exterior walls or from the center line of common walls separating two (2) buildings. Floor area, for the purposes of these regulations, shall not include a basement, garage, elevator, stair bulkheads, attic space, terraces, breezeways, open porches, and uncovered steps.

**FLOOR AREA, GROSS (GFA).** The total floor area of a building (sec 11, parking)

**FRONTAGE OF THE STRUCTURE, BUILDING WALL FRONTAGE.** The wall of a building that is closest to and generally parallel to the frontage of the lot on which the building is located.

**FUELING STATION.** A place where motor vehicle fuels or other minor accessories are retailed directly to the public on the premises in combination with the retailing of items typically found in a convenience market or supermarket.

**FUNERAL SERVICE.** A building or part thereof used for human funeral services and which may include space for the embalming and other services used in the preparation of the dead for burial, the storage of caskets, funeral urns, and other related supplies, the storage of funeral vehicles, facilities for cremation, chapels, and other related uses.

**GARAGE.** Refers to a building or space used as an accessory to a main building permitted in any residential district and providing for the storage of motor vehicles and in which no business, occupation, or service for profit is in any way conducted.

**GARAGE, ATTACHED.** A garage that is physically attached to a dwelling, shares a common wall with the habitable part of the dwelling and can be directly accessed from the habitable part of the dwelling via a doorway. A garage connected to a dwelling by means of an unenclosed space such as a breezeway, porch or similar area which is not part of the habitable area is not an attached garage for purposes of this Resolution.

**GARAGE, DETACHED.** A garage that is physically detached from a dwelling or other main use on a lot.

**GARAGE, PROMINENT** An attached garage that projects beyond the front building line of the primary structure and where the garage doors face the roadway.

**GARAGE, REPAIR.** A building or space for the storage of motor vehicles at which repairs of any kind of motor vehicle is permitted.

**GARAGE SALES.** Refers to any occasional, non-commercial sales conducted by the owner of the premises in a garage, yard, porch, lawn, or other location in a residential area.

**GOVERNMENT FACILITIES.** A building or land used and/or controlled exclusively for governmental or public purposes by any department or branch of government, including township, county, state, or other recognized public entity. Such use may include, but is not limited to, township offices, public works, safety services, post offices and other uses not defined separately within this Resolution. Government facilities shall not include schools or other educational facilities.

**GRADE, EXISTING.** The approved ground elevation established for the purpose of regulating the number of stories and the height of structures.

**GREEN AREA.** An area of the parcel or lot that shall be set aside for grass or vegetation to be maintained, exclusive of driveways, parking areas and structures.

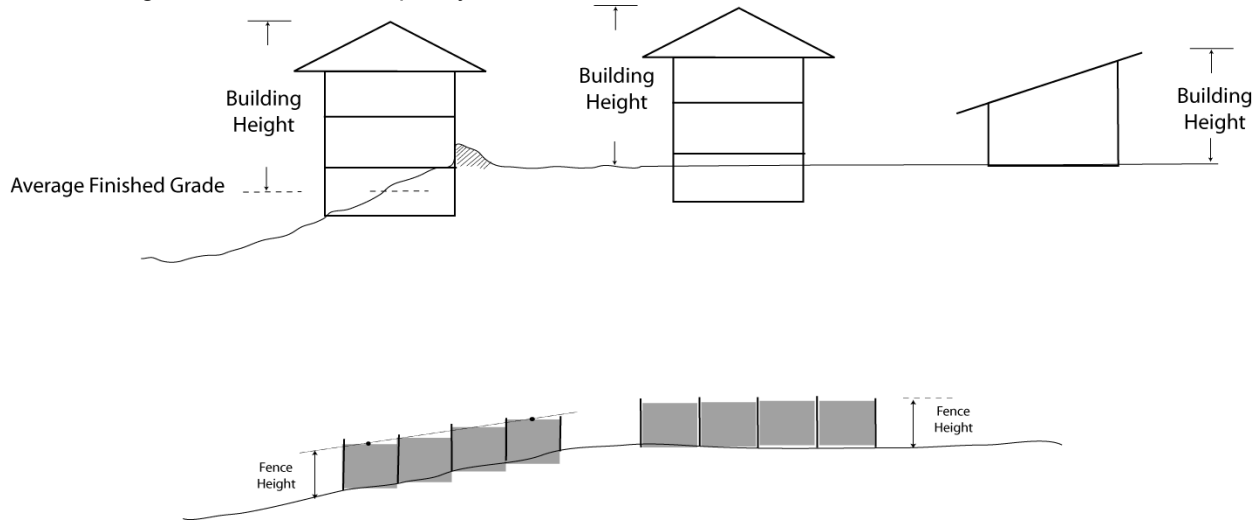
**GROCERY STORE.** Retail stores where most of the floor area is devoted to the sale of food products for home preparation and consumption, which typically also offer other home care and personal care products, and which are substantially larger and carry a broader range of merchandise than convenience or discount stores.

**HANDICAP ACCESSIBILITY RAMP.** A ramp or similar structure which provides wheelchair or similar access to a building.

**HEAVY MANUFACTURING AND ASSEMBLY.** Uses engaged in the basic processing and manufacturing of materials or products predominately from extracted or raw materials, or a use engaged in storage of, or manufacturing process using flammable or explosive materials, or storage or manufacturing processes that potentially involve hazardous conditions. Heavy Industrial also includes uses engaged in the operation, parking, and maintenance of vehicles, cleaning of equipment or work processes involving solvents, truck terminals, and container storage.

**HEDGE.** A line of closely spaced shrubs and tree species, planted and trained in such a way as to form a barrier or screen or to mark a boundary of an area.

**HEIGHT OF BUILDING.** The height of any building shall be the vertical distance between the highest point of elevation of the roof (including any rooftop deck, fence, railing, wall, widow's walk, or other rooftop structure or feature) and the average finished grade of the ground adjoining the building (not including earth mounds installed for purposes of landscaping). Chimneys, ventilators, antennas, skylights, tanks, bulkheads, or solar panels shall not be considered part of the height of the building if they do not extend more than four (4) feet above the specified height limit. Domes, towers, or spires that are integral parts of churches or religious buildings shall not be subject to these limitations, provided that such features shall not be designed or used for occupancy.



**HEIGHT OF FENCE.** The height of a fence shall be the vertical distance between the top of the fence and the natural grade of the ground on which the fence is installed. Where a fence is installed upon an earth mound or other fill, the fence height shall include the height of the mound or fill. Where a fence is constructed of panels on a line perpendicular to a slope, the height shall be measured from the center point of the top of each panel.

**HEIGHT OF SIGN.** The height of a sign shall be measured from the ground at the natural or finished grade of the site (excluding any additional mounding of soil or other material below the sign) to the highest point of the sign including any projection above the sign face, frame, or structure. *See sign height in Sec 10 Signs*

**HOLIDAY OR SEASONAL DECORATIONS.** Signs or displays including lighting which are a non-permanent installation celebrating national, state, and local holidays, religious or cultural holidays, or other holiday seasons.

**HOME OCCUPATION.** A business activity conducted within a dwelling and accessory structures as an accessory, subordinate use to the primary residential use of the dwelling.

**HOSPICE.** A place where palliative and supportive medical and other health services are provided to meet the physical, psychological, social, spiritual, and special needs of terminally ill patients and their families in a group residential setting.

**HOSPITAL.** A place, other than a medical or dental office or a nursing home, where medical or surgical health care services are provided to persons together with facilities for over-night care and recovery.

**HOTEL, MOTEL, INN, LODGING, TOURIST ACCOMMODATIONS.** A building in which lodging is provided and offered to the public for compensation and which is open to transient guests.

**HOUSEHOLD PET.** For the purposes of this resolution, a household pet refers to any animal that is commonly kept inside a residence such as a dog or cat.

**HOUSEHOLD PET SERVICES.** Establishments that are primarily engaged in providing services involving the care of the household pet, such as but not limited to grooming, training, daycare, and veterinary care, including clinics and animal hospitals.

**IMPERVIOUS COVER OR SURFACE.** Any paved, hardened, or structural surface regardless of its composition including but not limited to buildings, roads, driveways, parking lots, loading/unloading areas, decks, patios, and swimming pools.

**INDUSTRIAL OR INDUSTRY USES.** A use which involves activities relating to the creation, storage, and distribution of products, including but not limited to manufacturing, repair, packaging, shipping, trucking facilities, warehousing, wholesaling, and storage facilities. Industry does not typically include retail sales and services.

**INDUSTRIAL VEHICLE WASH.** Mechanical facilities for the washing, waxing and vacuuming of heavy trucks, business.

**INGRESS/EGRESS.** (Ingress/egress area of property, Ingress/egress point). That part of a lot which is suitable for vehicular entry to and exit from a lot as authorized by this Resolution and other applicable regulations, including but not limited to the Trumbull County Subdivision Regulations and local, county, state, and federal highway regulations.

**INSTITUTIONAL** means a nonprofit or quasi-public use, such as a religious institution, a library, a public, or private school, or government-owned or government-operated structure or land used for a public purpose.

**INTERSECTION.** Refers to the junction of any two or more dedicated and accepted public streets in Howland Township. Where a measurement relative to the point of intersection of two roads is required by this Resolution, that point shall be the nearest point where the center lines of the two roads intersect.

**INVASIVE PLANTS.** According to the Ohio Department of Natural Resources Natural Areas and Preserves, invasive plants are characterized by fast growth rates, high fruit production, rapid vegetative spread and efficient seed dispersal and germination. Since these plants are not native to Ohio, they lack the natural predators and diseases which would naturally control them in their native habitats.

**JUNK MOTOR VEHICLE.** Junk motor vehicle means a motor vehicle that meets all of the following criteria. three model years or older, apparently inoperable and extensively damaged, including, but not limited to, any of the following. missing wheels, tires, engine or transmission.

**JUNK YARDS, AUTOMOBILE GRAVE YARDS** (including the temporary or permanent storage of unlicensed and/or inoperable vehicles), places for the collection or sale of scrap metal, salvaged automobile parts, paper, rags, glass, junk for salvage or storage purposes, storing old tires, except where this use is an integral part in manufacturing process.

**KIOSKS.** A freestanding building that sells goods (coffee, premade bakery items, lottery) from a drive-through window to customers seated in their automobiles. No indoor or outdoor seating is provided.

**LABORATORY/RESEARCH.** A facility for scientific laboratory research in technology-intensive fields. Examples include biotechnology, pharmaceuticals, genetics, plastics, polymers, resins, coatings, fibers, fabrics, and heat transfer. The use does not include manufacturing or sale of products, except as incidental to the main purpose of the laboratory. Any experimentation shall not occur outside of the building.

**LANDSCAPING.** The design, installation, operation and maintenance of soil, plants, groundcovers and related features for aesthetic and functional purposes as provided in this Resolution.

**LAUNDROMAT.** A facility that provides washing, drying, and/or ironing machines for hire to be used by customers on the premises.

**LIBRARY.** A public, non-profit facility in which literary, musical, artistic, or reference materials are kept for use by or loaning to patrons of the facility, but are not normally offered for sale.

LIGHT MANUFACTURING AND ASSEMBLY. Include fabrication, manufacturing, assembly or processing of materials in a fully enclosed structure that are in refined form and that do not in their transformation create smoke, gas, odor, dust, noise, and vibration of earth, soot or lighting to a degree that is noticeable. Outside storage of inventory, materials or finished products are enclosed in a fence or similar structure and not exposed to public view. All semi-truck and trailer parking are corralled in the rear of the building.

LIVE-WORK UNIT is a single unit (e.g., studio, loft, or one bedroom) consisting of both a commercial/office and a residential component that is occupied by the same resident. The live/work unit shall be the primary dwelling of the occupant.

LIVING AREA. The floor area of a dwelling unit, excluding areas within or attached to the dwelling used or designed for or otherwise unsuitable for year-round residential activity including but not limited to. the storage of vehicles, outdoor tools, equipment or materials; greenhouses; unheated spaces such as porches or breezeways; basements, attics.

LOT, PREMISES, PROPERTY. A single parcel of land, not divided by any lot line, occupied or intended to be occupied by a principal building or a group of buildings and accessory structures or uses, including open space and frontage on a public road, or other road or means of access approved for frontage, as required by this Resolution. *See also "Meaning of "Lot" for purposes of sign regulations.*

LOT AREA. The computed area contained within the lot lines of a single lot. Where the lot lines extend into a public right-of-way or private street, the area of the lot lying within the public right-of-way or private street shall not be included as part of the lot area for the purposes of these Regulations.

LOT, CORNER. A lot abutting upon two or more roads at their intersection provided the angle at which the roads intersect does not exceed one hundred thirty-five (135) degrees.

LOT FRONTAGE. That part of a lot which abuts a public right-of-way or platted and recorded private road.

LOT LINE. A property line defining the limits of a lot.

LOT LINE, FRONT PROPERTY LINE. Shall be construed to be coincident with the principal road line of the lot. If there is no established right-of-way side line for road or street, said line shall be deemed to be thirty (30) feet from the center of the road. On a corner lot, only one right-of-way line shall be the front lot line.

LOT LINE, SIDE PROPERTY LINE. Any lot line which is neither a front lot line nor a rear lot line. A side lot line typically extends from the front lot line to the rear lot line.

LOT LINE, REAR PROPERTY LINE. The lot line that is opposite and most distant from the front lot line. Where a lot is irregular or triangular in shape and there is no rear lot line, the rear lot line shall be construed to be a line at least ten (10) feet long, parallel to and most distant from the front lot line.

LOT WIDTH. The distance between the side lot lines of a lot measured along a line parallel to the front lot line and located at the front setback line.

MANUFACTURED HOME A building unit or assembly of closed construction that is fabricated in an off-site facility and constructed in conformance with the federal construction and safety standards established by the secretary of housing and urban development pursuant to the "Manufactured Housing Construction and Safety Standards Act of 1974," 88 Stat. 700, [42 U.S.C.A. 5401](#), [5403](#), and that has a permanent label or tag affixed to it, as specified in [42 U.S.C.A. 5415](#), certifying compliance with all applicable federal construction and safety standards.

MANUFACTURED HOME, PERMANENTLY SITED. A manufactured home that meets all of the following criteria.

- (a) The structure is affixed to a permanent foundation and is connected to appropriate facilities;
- (b) The structure, excluding any addition, has a width of at least twenty-two feet at one point, a length of at least twenty-two feet at one point, and a total living area, excluding garages, porches, or attachments, of at least nine hundred square feet;

(c) The structure has a minimum 3.12 residential roof pitch, conventional residential siding, and a six-inch minimum eave overhang, including appropriate guttering;

(d) The structure was manufactured after January 1, 1995;

(e) The structure is not located in a manufactured home park as defined by [section 4781.01 of the Revised Code](#).

**MANUFACTURED HOME PARK.** This is a tract of land that has been zoned, planned, improved, and developed for the placement of manufactured mobile homes.

**MANUFACTURING.** The mechanical or chemical transformation of materials or substances into new products, including the assembly of component parts, and the production or refining of goods, materials, or substances into new products, mechanical or chemical transformation of materials into new products; transformation of materials by heat, electricity, or other forms of energy; the blending of new materials, and the packaging of materials.

**MASSAGE.** means any method of exerting pressure on, stroking, kneading, rubbing, tapping, pounding, vibrating, or stimulating the external soft tissue of the body with hands, or with the aid of any mechanical or electrical apparatus or appliance.

**MASSAGE ESTABLISHMENT.** means any fixed place of business where a person offers massages. (1) In exchange for anything of value; or (2) In connection with the provision of another legitimate service.

**MEDICAL OR DENTAL OFFICE, LABORATORY, OR CLINIC.** A place where medical or dental services are provided on an out-patient basis with no overnight stays. A laboratory contained within the same building as a medical or dental office or clinic where tests are done on clinical specimens in order to get information about the health of a patient of such office or clinic.

**MICROBREWERY, DISTILLERY, WINERY OR MEADERY.** An establishment where malt, spirituous, or vinous beverages are manufactured in small scale and only in conjunction with a restaurant, tasting room, taproom, or retail sales.

For the purposes of this definition, small scale means.

- a. no more than 15,000 barrels of beer and/or cider per year.
- b. no more than 100,000 gallons of wine and/or mead per year
- c. no more than 15,000 gallons of spirits per year.

**MIXED-USE DEVELOPMENT** refers to a type of development that combines two or more different uses within a single building or site. These uses typically include residential, commercial, cultural, institutional, or recreational spaces. The goal is to create a more integrated, walkable, and vibrant community where people can live, work, shop, and socialize in close proximity.

Acceptable types of mixed-use configurations in planning:

1. Vertical Mixed-Use: Different uses stacked within the same building, such as retail on the ground floor, offices on the second floor, and residential above.
2. Horizontal Mixed-Use: Different uses located side by side on the same site, such as a shopping center adjacent to townhomes or office buildings.
3. Cluster or Campus Mixed-Use: Separate buildings with complementary uses arranged within a single development, such as a development with stacked flats, a small park, and a café within a shared site.

**MIXED-USE DEVELOPMENT PROJECT** is a planned construction effort that combines multiple permitted uses in a coordinated way on a defined site to create a functional and cohesive environment that meets the definition of mixed-use.

MIXED-USE DISTRICT INTENT means the coordinated development of two or more distinct land uses — at least one of which is residential — within a compact, walkable environment that: (a) encourages a balanced mix of uses that support nearby employment centers, retail hubs, and neighborhoods; (b) promotes pedestrian connectivity between uses; (c) protects and incorporates sensitive ecological resources and natural stormwater systems; and (d) creates a distinct sense of place through high-quality architecture, landscaping, and public spaces, consistent with the purposes of Section 5.5(A). A development substantially meets the Intent of the Mixed-Use District when it advances the majority of these objectives in a coordinated and cohesive manner, even if not all elements are achieved simultaneously, provided that any waiver of a specific requirement is supported by a written finding of the Zoning Administrator.

MOBILE FOOD UNIT. Enclosed unit, truck, or trailer or similar vehicle-mounted unit that is capable of being moved and changing locations routinely and regularly by a licensed motor vehicle. The unit has on-board power, refrigeration, food preparation facilities, and room for employees and is used for the preparation, sale, or donation of on-site prepared food. The unit must be on wheels at all times. This definition does not include push-carts.

MOTOR VEHICLE SERVICE AND REPAIR, MAJOR. Repairs of construction, commercial trucks, agricultural implements, and similar heavy equipment, including automobiles, where major engine and transmission repairs are conducted. Use includes bodywork, framework, welding, and major painting service.

MOTOR VEHICLE SERVICE AND REPAIR, MINOR. Repairs to any motor vehicle, including tire repair and replacement, oil changes, replacement of cooling, electrical, fuel and exhaust systems, brake adjustments, relining, and replacement of shock absorbers.

MOVING DEVICE. A sign or any part thereof which moves or appears to move with the intent or effect of advertising or attracting attention.

MURAL. A large picture or image, including but not limited to painted art, which is painted or constructed, or affixed directly onto a vertical building wall, which do not contain advertising or logos of any kind .

MUSEUM. A building serving as a repository for a collection of natural, scientific or literary curiosities or objects of interest, or works of art, and arranged, intended and designed to be used by members of the public for viewing, with or without a charge, and which may include as an accessory use the sale of related goods to the public.

NATURAL STREAM CHANNEL DESIGN. Practices undertaken to stabilize stream systems by restoring natural function and morphology. Natural channel design, stream restoration, and/or streambank stabilization projects should comply with principles laid out in the following publications.

Stream Corridor Restoration. Principles, Processes, and Practices

The Federal Interagency Stream Restoration Working Group, October 1998.

Applied River Morphology, Second Edition, Dr. Dave Rosgen, October 2002.

NRCS Field Office Technical Guide, Natural Resource Conservation Service

NATURAL SUCCESSION. A gradual and continuous replacement of one kind of plant and animal group by a more complex group. The plants and animals present in the initial group modify the environment through their life activities thereby making it unfavorable for themselves. They are gradually replaced by a different group of plants and animals better adapted to the new environment.

NEIGHBORHOOD PARK – A park of one acre or less intended to serve the recreational needs of people living or working within one-half of a mile of the park.

NON-COMMERCIAL SPEECH. Expression of some personal, political, or religious view.

NONCONFORMING. Not conforming to the provisions of this Resolution.

**NONCONFORMING LOT.** A lot legally established prior to the effective date of this Zoning Resolution, or subsequent amendments, which does not comply with the provisions of this Zoning Resolution, or subsequent amendments, applicable to the zoning district in which the lot is located.

**NONCONFORMING STRUCTURE.** A building or other structure legally established prior to the effective date of this Zoning Resolution, or subsequent amendments, which does not comply with the provisions of this Zoning Resolution, or subsequent amendments, applicable to the zoning district in which the structure is located.

**NON-CONFORMING USE.** A use that does not comply with the regulations established for the zoning district in which it is situated.

**NPDES National Pollutant Discharge Elimination System.** The program of sediment and erosion control developed and under the jurisdiction of the United States Environmental Protection Agency.

**NURSERY, RETAIL.** The retail handling of any article, substance, or commodity related to the planting, maintenance, or harvesting of garden plants, shrubs, trees, packaged fertilizers, soils, chemicals or other nursery goods and related products in small quantities to the consumer.

**NURSERY, WHOLESALE .** The growing, storage, and sale of garden plants, shrubs, or trees for resale, including incidental retail sales.

**NURSING HOME, ASSISTED LIVING, HOSPICE, MEMORY CARE, REHABILITATION.** A structure operated for the care of the aged or infirmed persons in which three or more persons not of the immediate family are received, kept, and provided with food, shelter, medical care on 24-hour bases, but not including hospitals, clinics, licensed family homes, and licensed group homes for developmentally disabled persons, institution, or other terms specifically defined and regulated in this Resolution.

**ODOT** is the Ohio Department of Transportation.

**OFFICE.** A use, conducted within a building or part of a building, involving the conduct of the administrative, executive, management, or clerical affairs of a business, service, industry, or government; or the activities of a profession; and generally furnished with desks, tables, files, and communication equipment. The term "office" includes but is not limited to. accounting and bookkeeping; brokers and investment advisors; realtors; appraisers; lawyers; architects, engineers, landscape architects, or other design professionals; sales offices without stock in trade; and similar uses. The term "office" does not include. financial services, retail business, model home, or personal services.

**OFFICE BUILDING, GENERAL.** A building wholly occupied by offices, but not including medical offices.

**OFFICE BUILDING, MEDICAL.** A building or part of a building in which one or more medical or dental offices, associated laboratories, or clinics are located.

**OHIO ENVIRONMENTAL PROTECTION AGENCY.** Referred throughout this regulation as the "Ohio EPA."

**OHIO REVISED CODE, ORC, RC.** All statutes of a permanent and general nature of the state of Ohio as revised and consolidated into general provisions, titles, chapters, and sections and known as the Ohio Revised Code.

**ORDINARY HIGH WATER MARK (OHW).** The point of the bank or shore to which the presence and action of surface water is so continuous as to leave a district marked by erosion, destruction or prevention of woody terrestrial vegetation, predominance of aquatic vegetation, or other easily recognized characteristic. The ordinary high water mark defines the bed of a watercourse.

**OUTDOOR DINING AREA.** An area, located outside of a fully enclosed building, in which dining or drinking are permitted.

**OUTDOOR SALES AND DISPLAY.** The temporary or periodic use of a yard for the purpose of exhibiting goods, equipment, vehicles, or other products for sale, rent, or other gain or for the purpose of attracting attention to the availability of the goods, equipment, vehicles or other products for sale, rent, or other gain.

Unless otherwise provided in this Resolution, outdoor sales and display shall only be permitted as a use accessory to a principal use of a lot.

**OUTDOOR STORAGE.** The temporary or periodic use of a yard for the purpose of storing goods, equipment, vehicles, waste materials, or other matter used or produced by a business enterprise, except the storage of vehicles used in the conduct of the business or the vehicles of employees or customers. Unless otherwise provided in this Resolution, outdoor sales and display shall only be permitted as a use accessory to a principal use of a lot.

**PARAPET.** That part of a wall which extends above the roof line.

**PARKING.** An area of land together with improvements such as pavement, curbs, access drives, storm drainage facilities and landscaping designed or used for the parking of motor vehicles.

**PARKING BAY.** An area of a parking lot containing an aisle together with the parking spaces which abut the aisle and that are accessed by way of that aisle. A single loaded parking bay provides access to parking spaces on one side of the aisle. A double loaded parking bay provides access to parking spaces on two sides of the aisle.

**PARKING ISLAND.** An unpaved area located within and completely surrounded by the paved surface of a parking lot.

**PARKING LOT.** A paved surface providing one or more parking spaces and required aisles, access, landscaping, stormwater management facilities, and other associated improvements.

**PARKING PENINSULA.** An unpaved area located within and surrounded on three sides by the paved surface of a parking lot.

**PARKING SPACE.** A surfaced area reserved for the storage of one passenger vehicle and provided with access to a public right-of-way as required by this Resolution. A parking space may be enclosed or unenclosed as required by this Resolution.

**PASSIVE PARK RECREATIONAL FACILITIES AND CONSERVATION AREAS –** Any park or recreational facility where there is no grading of the land, construction of facilities, lighting, or development of ball fields with the exception that passive park recreational facilities and conservation areas may include the development of trails, sidewalks, and interpretive signage.

**PENNANT STRINGS OR STREAMERS.** A display made of lightweight, flexible materials, consisting of long, narrow, wavy strips hung individually or in a series, which or without logo or advertising message printed or painted on them and typically designed to move in the wind.

**PERIMETER BUFFER** shall mean a landscaped area along the outermost project boundaries that serves as a buffer between incompatible uses and zoning districts, as an attractive boundary of the parcel or use, or as both a buffer and attractive boundary.

**PERMANENT FOUNDATION** shall mean permanent masonry, concrete, or a footing or foundation approved by the Manufactured Homes Commission pursuant to Chapter 4781. of the Revised Code, to which a manufactured or mobile home may be affixed.

**PERSONAL SERVICES.** Establishments that are primarily engaged in providing services generally involving the care of the person. Personal services may include, but are not limited to barber shops, beauty salons, tanning salons, and tailoring and alterations

**PILASTER.** an upright architectural member that is rectangular in plan and is structurally a pier but architecturally treated as a column and that usually projects a third of its width or less from the wall

**PLACE-MAKING** features are design components intentionally used to foster social interaction, comfort, and a unique sense of place within the township. Such features include gathering spaces, outdoor dining areas, green infrastructure, civic art, pedestrian-scale lighting, enhanced landscaping, and other amenities that encourage people to linger and engage with their surroundings.

**PLACE OF ASSEMBLY.** A place where members of the public or membership groups regularly gather for organized civic, educational, political, religious, social, or recreational events. Places of assembly include but are not limited to social clubs, fraternal clubs, places of worship, theaters, auditoriums, stadiums, arenas, amphitheaters, assembly halls, banquet halls and similar uses.

**PLACE OF WORSHIP.** A building wherein persons regularly assemble for religious worship and which is maintained and controlled by a religious body organized to sustain public worship, together with all accessory buildings and uses customarily associated with the primary purpose, including but not limited to a parish house. Included in the meaning of the term “place of worship” are the terms “church”, “synagogue”, “temple”, “mosque” and other places for worship and religious activities.

**PORCH.** A non-habitable, unheated, one-story addition to a dwelling consisting of a roof, columns or other ground supports for structural purposes, and a floor surface. Depending on location, a porch may include enclosing railings, walls, windows, screens, lattice, or doors complying with the provisions of this Resolution

**PORTABLE STORAGE UNIT.** A portable structure or container that allows for storage of goods or materials, on or off-site and which is not permanently affixed to a foundation and that is related to construction, renovation, Rehabilitation of the building on which the site is located.

**PRELIMINARY PLAN.** A drawing of a major subdivision for the purpose of study, which, if approved, permits proceeding with the preparation of the final plat.

**PRIMARY STREET.** A street designated to carry the highest level of pedestrian visibility and activity within a mixed-use district. It typically provides the main public frontage for buildings and acts as the district’s most prominent corridor for walking, biking, transit access, and vehicular movement. Buildings facing a primary street are held to the highest design standards to support a particular character. Primary streets generally feature:

- i. Continuous building frontage with minimal setbacks.
- ii. Ground-floor activation, such as retail, service, or civic uses.
- iii. Enhanced streetscape treatments, including wider sidewalks, street trees, lighting, and pedestrian amenities.
- iv. Primary entrances oriented to the street.
- v. Higher expectations for architectural quality and transparency.

**PRINCIPAL BUILDING.** The building on a lot that accommodates the principal use to which the premises are devoted.

**PRINCIPAL USE (PRIMARY USE).** A use (excluding accessory uses) that fulfills the fundamental function of a household, establishment, institution, or other entity as permitted in the zoning district where the household, establishment, institution, or other entity is located.

**PRIVATE ROAD OR STREET.** A shared means of vehicular ingress and egress within an easement of access serving as frontage for lots in a residential development but where it has not been dedicated for public operation and maintenance, has not been a recorded public right of way, and has not been accepted into the road system by Howland Township and the Trumbull County Commissioners, but has been recorded as a private road for access to abutting properties.

**PROFESSION.** Refers to and includes a doctor of medicine, doctor of osteopathy, dental surgeon, oral surgeon, orthodontist, optometrist, doctor of veterinary medicine, chiropractor, podiatrist, audiologist, speech pathologist, psychologist, attorney, architect, accountant, professional engineer, and such other persons who can, upon proper appeal to the Howland Township Board of Zoning Appeals, clearly establish that they practice a profession as opposed to an occupation which is predominately commercial or mechanical in nature.

**PROFESSIONAL OR BUSINESS OFFICE.** Establishments providing executive, management, administrative, or professional services including, but not limited to, real estate, architecture, legal, travel, medical, dental, employment, insurance, advertising, design, engineering, accounting, and similar uses. Professional or business office use does not include manufacturing, warehousing or the selling of goods.

**PUBLIC DRINKING WATER.** A water system approved by the Trumbull County Sanitary Engineer or other agency for the distribution of treated water.

**PUBLIC UTILITY.** A corporate entity serving the public interest or public concern with regard to providing goods or services of a vital or essential nature for public use or consumption.

**RECREATION FACILITY.** A place designed and equipped for sports, leisure-time, or entertainment activities, but not including those uses otherwise defined or regulated in this Resolution. Restaurants, types of lodging, and adult uses, which are separately defined or regulated in this Resolution, are not included within the meaning of "recreation facility". Recreation facilities owned and operated by Howland Township or the local School Board are not included within the meaning of "recreation facility". As provided in this Resolution, recreation facilities are of four types.

**RECREATION FACILITY, TYPE A.** Outdoor recreation facilities, usually requiring a large space, which are relatively quiet and having impacts compatible with residential uses, including but not limited to such activities as a regulation golf course and club house, picnic area, playground, trails for walking, bicycling, or horse-riding (excluding trails used by motorized vehicles), fishing, non-motorized boating, observation of nature, and similar facilities and activities.

**RECREATION FACILITY, TYPE B.** Outdoor recreation facilities for intense sports and athletic activities including but not limited to field sports, baseball field, soccer field, swimming pool, tennis court, basketball court, golf driving range.

**RECREATION FACILITY, TYPE C.** Indoor recreation and entertainment facilities including but not limited to those required for indoor court sports, shooting ranges, athletic clubs, bowling alleys.

**RECREATIONAL USE.** A use designed and equipped for the conduct of sports, leisure time activities and other customary and usual recreational activities. This does not include a recreational use that is an accessory to a residence.

**RECYCLING FACILITY.** A building or area where the primary activity is the separation of materials prior to shipment for remanufacture in to new materials. This does not include transfer stations, junk yards or wrecking yards.

**RESIDENTIAL FACILITY -** A state-licensed residential facility, providing accommodations and personal care services for unrelated persons, that meets the criteria of Section 5119.34 Division (B)(1)(b) of the Ohio Revised Code. They are further defined as.

Small Residential Facility— a state-licensed residential facility accommodating one to five persons.

Large Residential Facility— a state-licensed residential facility accommodating six to sixteen persons.

**RESTAURANT.** A establishment where food and beverages are prepared, served and consumed primarily within the principal building and where food sales constitute the majority of the gross sales receipts for food and beverage.

**RETAIL BUSINESS.** Establishments primarily engaged in the sale of goods and materials to the general public. Retail business uses may include, but are not limited to, bookstores, antique stores, convenience stores, pharmacies, grocery stores, bakeries, clothing and jewelry boutiques, hardware, and home improvement.

**RETAIL, FREESTANDING (pertaining to parking standards).** A building located independently on a single lot, provided with exclusive parking on the lot, and containing a single retail sales facility not larger than 20,000 square feet gross floor area.

**RETAIL, LARGE SCALE** (pertaining to parking standards). A building located independently on a single lot, provided with exclusive parking on the lot, and containing a single retail sales facility larger than 20,000 square feet gross floor area.

**RIGHT-OF-WAY.** An area of land dedicated for use as a public or private roadway, typically containing or intended to contain road improvements and which may also include sidewalks, utilities, and other construction. The outside boundary of a right-of-way may be referred to as a "Right of way line".

**RIPARIAN AREA.** Naturally vegetated land adjacent to watercourses that, if appropriately sized, helps to stabilize stream banks, limit erosion, reduce flood size flows, and/or filter and settle out runoff pollutants, or performs other functions consistent with the purposes of this regulation.

**RIPARIAN SETBACK.** The real property adjacent to a designated watercourse located in the area defined by the criteria set forth in this regulation.

**ROOF.** The cover of any building, including the eaves and similar projections.

**SANITARY SEWER.** A sanitary sewer system approved by the Trumbull County Sanitary Engineer or other agency for the collection of sanitary waste.

**SECONDARY ACCESS.** A second public street access route provided within a residential subdivision to ensure that no more than 24 residential dwelling units are located on either a cul-de-sac or on any other street configuration which limits public safety forces to a single access route.

**SEDIMENTATION.** The process by which sediment resulting from accelerated erosion has been or is being transported off the site of the land-disturbing activity or into a lake or natural watercourse or wetland.

**SEMI-TRAILERS.** Any vehicle of the trailer type without motive power so designed or used with another and separate motor vehicle that in operation a part of its own weight or that of its load, or both, rests upon and is carried by such other vehicle furnishing the motive power for propelling itself and the vehicle referred to in this division, and includes, for the purpose only of registration and taxation under such chapters, any vehicle of the dolly type, such as a trailer dolly, designed or used for the conversion of a semi-trailer into a trailer.

**SEMI-TRUCK TRACTOR.** Any vehicle with greater than six tires, and a fifth wheel. **SETBACK LINE.** A line located at the required minimum distance from a lot line and which establishes the area ("buildable area") within which the principal structure must be located.

**SERVICE COMMERCIAL.** Establishments that primarily engage in rendering services to businesses including, but not limited to, printing, small equipment rental, mailing, photo finishing, and other similar uses. Does not include warehousing.

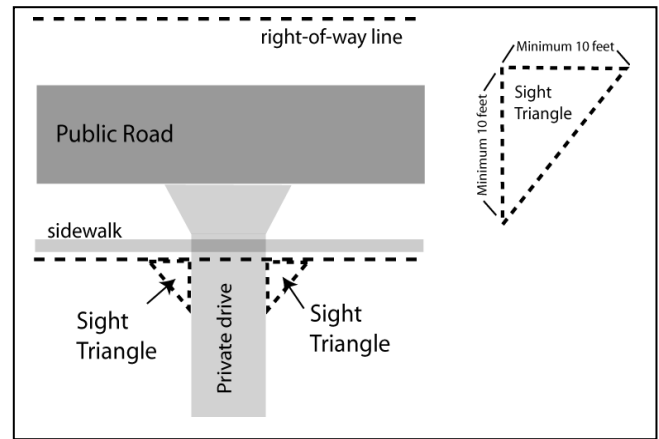
**SETBACK OF A STRUCTURE.** That distance measured from the structure's outside wall to a property line and that the foundation wall shall be used for that measurement. Bow or bay windows, chimneys, and the overhang of the roof system may extend no more than two (2) feet. Under no circumstance shall the wall of any room project into the setback area regardless of where the foundation wall is placed. A stoop with no walls or roof may extend into the front or rear yard setbacks. No stoop, porch, or similar structure may extend into a side yard setback. A setback may pertain to parking areas, riparian areas etc.

**SHOPPING CENTER.** A group of commercial establishments planned and designed for the site on which it is built, functioning as a unit with access drives, off-street parking, landscaping, and other features

**SHORT-TERM RENTAL.** Any dwelling in a residentially-zoned district within Howland Township that is rented wholly or partly for a fee for less than thirty (30) consecutive days by persons other than the permanent occupant or owner for which the permanent occupant or owner receives compensation. When appropriate this definition includes the property on which the Short-Term Rental is located.

**SHRUB.** A self-supporting, deciduous or evergreen plant species, normally branched near the base, bushy and normally growing to less than fifteen (15) feet in height or more in Trumbull County.

**SIGHT TRIANGLE.** An area of land at the intersection of streets, or a street and a driveway, within which the location and/or dimensions of signs, fences, or other structures and the installation and maintenance of plants and other landscape features may be regulated by this Resolution for the purpose of promoting safety and clear lines of sight for vehicle drivers.



**SIGN.** Any name, figure, character, outline, display, announcement or device, or structure supporting the same, or any other device of similar nature designed to attract attention outdoors, and including all parts, portions, units and materials composing the same, together with the frame, background, and supports or anchoring thereof. A sign shall not include any architectural or landscape features that may also attract attention.

**SIGN, ALTERATION** includes; replacement of a panel, supports, cabinet or other physical elements of a sign or relocation of a sign. Alteration shall not include. repainting, replacement of parts provided that the replacement does not alter the location, type of installation, surface area, height, and normal maintenance

**SIGN, ANIMATED.** A sign depicting action, motion, or light or color changes through electrical or mechanical means.

**SIGN, CHANGEABLE COPY.** A sign or portion of a sign with letters, characters, or graphics which are not permanently affixed and which may be modified manually. For the purposes of this Resolution, an Electronic Message Center is not a changeable copy sign.

**SIGN, DIRECTIONAL.** Any sign that is designed and erected for the purpose of providing direction and/or orientation for pedestrian or vehicular traffic.

**SIGN, DIRECTORY.** A sign that other than an identification sign that list names, uses or locations of the various businesses or activity conducted with a building or a group of buildings that is centrally located and intended to provide on-site directions only.

**SIGN, ELECTRONIC MESSAGE CENTER.** A sign or portion of a sign whose alphanumeric message can be changed or altered on a fixed display screen composed of electrically or electronically illuminated segments.

**SIGN FACE.** The area or display surface used for the message.

**SIGN, FREESTANDING.** A sign located upon the ground or upon an object, post or base located on or affixed to the ground and not attached to a building.

**SIGN, GOVERNMENT OR REGULATORY.** Any sign for the control of traffic or for identification purposes, street signs, warning signs, railroad crossing signs, and signs of public service indicating danger or construction which are erected by or an order of a public officer, employee or agent thereof, in the discharge of official duties.



Acceptable Electronic Message Center Sign

**SIGN, HALO ILLUMINATION OR BACK LIT.** A sign that contains an indirect source of light which illuminates a sign by shining through or around the surface of a sign and lit from an internal light source

**SIGN, INFLATABLE.** A sign, parts thereof, or sign supports or other elements supported by air or other gases.

SIGN, INTERACTIVE. An electronic or animated sign that reacts to the behavior or electronic signals of motor vehicle drivers

SIGN, LIMITED DURATION. A non-permanent sign that is displayed on private property for more than 30 days, but not intended to be displayed for an indefinite period (Real Estate, For Lease)

SIGN, LOW PROFILE. A freestanding permanent sign which does not exceed eight (8) feet in height and in which the lowest part of the sign face is not more than two (2) feet above the natural or finished grade.

SIGN, MENU BOARD. A free-standing sign oriented to the drive-through lane for a restaurant and advertises the menu items available from the drive through window and which has not more than 20 percent of the total area for such a sign utilized for business identification.

SIGN, OFF PREMISE /BILLBOARD/OUTDOOR ADVERTISING SIGN. A sign that advertises a product or service not offered on the same lot on which the sign is located or which directs attention to an activity not conducted on the same lot where the sign is located but not including an authorized sign expressing non-commercial speech.

SIGN, PERMANENT. A sign which is permanently attached to a structure or to a foundation in the ground and which is constructed, designed, operated and maintained in a manner suitable for continuous exposure to the elements without deterioration, usually for a period of years.

SIGN, REFLECTIVE. A sign containing any material or device which has the effect of intensifying reflected light.

SIGN, ROOF-MOUNTED. A sign placed upon the roof of a building or on any part of a building which is higher than the roof or attached to a building in a manner which locates any part of the sign at an elevation higher than any part of the roof.

SIGN, SIDEWALK OR SANDWICH BOARD OR "A" FRAME. A type of freestanding, portable, temporary sign consisting of two faces connected and hinged at the top and whose message is targeted to pedestrians.

SIGN, SECURITY OR WARNING. An on-premise sign regulating the uses of the premises, such as a "no trespassing," "no hunting," or "no soliciting" sign.

SIGN, SNIPE OR BANDIT. A sign that is tacked, nailed, posted, pasted, glued, or otherwise attached to trees, poles, stakes, fences, or to other objects and which is located within the public right-of-way.

SIGN, TEMPORARY. A sign which exhibits any of the following characteristics.

1. authorized for installation for a limited period of time
2. designed, constructed or installed in a manner which is not suitable for permanent display
3. constructed of materials which are not suitable for long term display and not suitable for long term resistance to deterioration from the elements including but not limited to signs constructed of paper, cardboard, untreated wood, light plastics or other materials not sufficiently durable for long term exposure to the elements
4. placed upon or staked to the ground or installed by inserting a post or stake into the ground,
5. a portable sign mounted on a portable frame, but not mounted on a trailer, vehicle, or wheels
6. signs which are mounted upon or otherwise attached to but not permanently painted upon the body surface of a vehicle

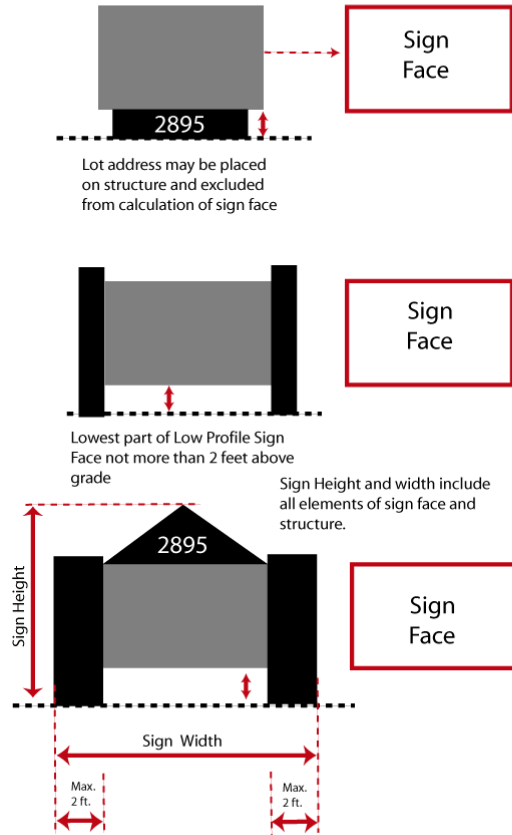
SIGN, WALL. A sign attached to the wall of a building or to an awning or canopy.

SIGN, WINDOW. Window sign shall mean a sign that is applied or attached to the exterior or interior of a window or located in such a manner within the building that it can be readily seen from the exterior of the

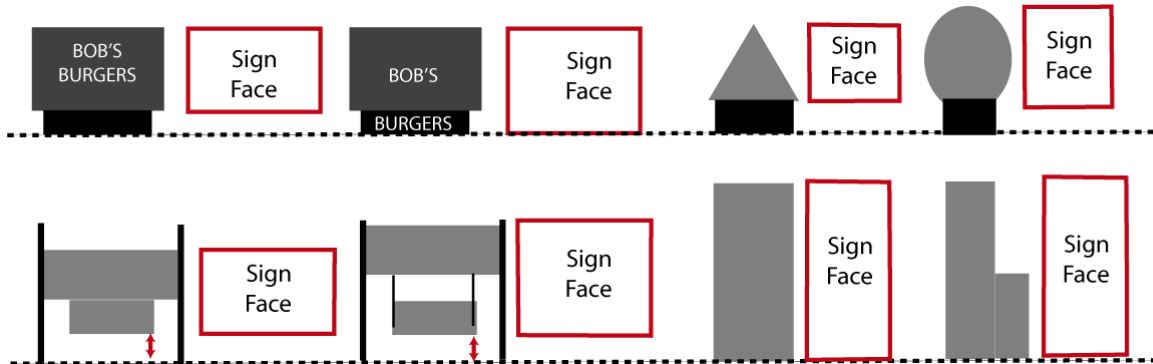
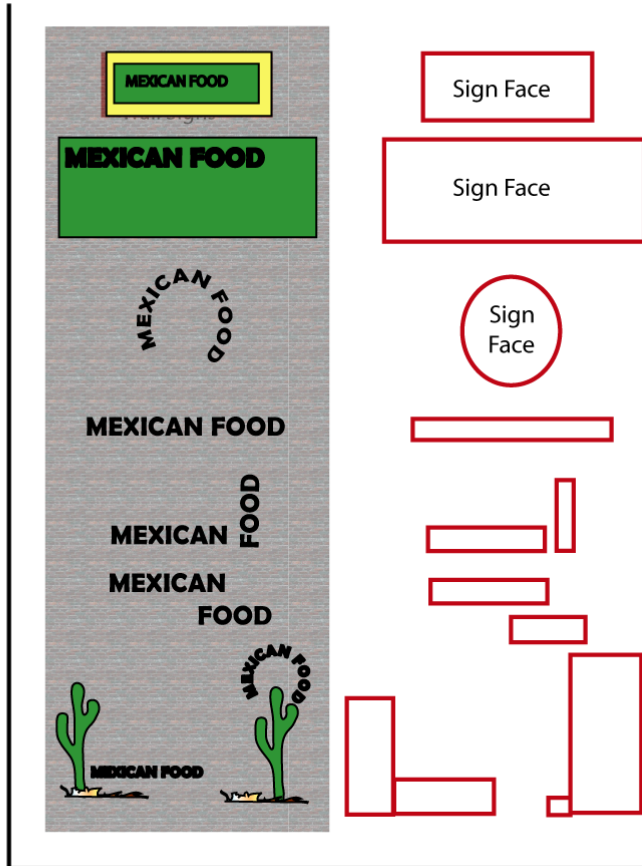
building through the window. Customary displays of merchandise or objects and material without lettering behind a store window are not considered signs.

# MEASURING SIGN DIMENSIONS

## FREESTANDING SIGNS



## WALL SIGNS



**SITE DISTURBANCE.** Any activity that removes the vegetative cover from the land surface.

**SKIRTING.** A weather-resistant material used to enclose the entire perimeter, under the living area of the home, from the bottom of the home to grade.

**SLOPE.** The degree of deviation of a surface from the horizontal, usually expressed in percent or degrees; rise over run.

**SOIL AND WATER CONSERVATION DISTRICT (SWCD).** An entity organized under Chapter 1515 of the Ohio Revised Code referring to either the Soil and Water Conservation District Board or its designated employee(s), hereinafter referred to as Trumbull SWCD.

**SOIL DISTURBING ACTIVITY.** Clearing, grading, excavating, filling, or other alteration of the earth's surface where natural or human made ground cover is destroyed and which may result in, or contribute to, erosion and sediment pollution.

**SOLAR PANEL.** A solar photovoltaic panel, or solar hot air or water panel collector device, which relies upon solar radiation as an energy source for the generation of electricity or transfer of stored heat.

**SOLID WASTE.** As defined by Section 3734.01 of the Ohio Revised Code. *“Solid wastes” means such unwanted residual solid or semisolid material as results from industrial, commercial, agricultural, and community operations, excluding earth or material from construction, mining, or demolition operations, or other waste materials of the type that normally would be included in demolition debris, nontoxic fly ash and bottom ash, including at least ash that results from the combustion of coal and ash that results from the combustion of coal in combination with scrap tires where scrap tires comprise not more than fifty per cent of heat input in any month, spent nontoxic foundry sand, nontoxic, nonhazardous, unwanted fired and unfired, glazed and unglazed, structural products made from shale and clay products, and slag and other substances that are not harmful or inimical to public health, and includes, but is not limited to, garbage, scrap tires, combustible and noncombustible material, street dirt, and debris. “Solid wastes” does not include any material that is an infectious waste or a hazardous waste.”*

**SOLID WASTE DISPOSAL FACILITY .** As defined by Section 3734.01 of the Ohio Revised Code. *“Facility” means any site, location, tract of land, installation, or building used for incineration, composting, sanitary landfilling, or other methods of disposal of solid wastes or, if the solid wastes consist of scrap tires, for the collection, storage, or processing of the solid wastes; for the transfer of solid wastes; for the treatment of infectious wastes; or for the storage, treatment, or disposal of hazardous waste.”*

**STACKED FLAT.** A multi-family building where individual dwelling units (flats) are located directly above or below other units, often sharing common vertical circulation (stairs/elevators) but usually having all living spaces on a single story (unlike townhomes, which typically have multiple stories within a single unit). Their inclusion supports the goal of providing a range of housing choices.

**STEP BACK.** A horizontal setback of an upper floor from the façade below it. It is used to reduce perceived building mass and to smooth transitions to the street, and to adjacent residential areas. The upper story is pushed back toward the interior of the lot, maintaining the overall height.

**STEP DOWN.** A reduction of the vertical height between different parts of the same building or between adjacent buildings. The height plane changes, not the horizontal position of the upper floors.

**STOOP.** An exterior floor structure, steps, or pavement having a finished elevation at least 6 inches higher than grade and an area not greater than 12 square feet which is used primarily as an access platform and or steps to an entrance of a dwelling. A stoop may include open railings and balusters required to protect pedestrians from falls and to provide support on steps. A covered stoop includes a roof structure not greater than 25 square feet in area which is located above a stoop to protect it from rain and snow.

**STORAGE FACILITY.** A building or group of buildings in a controlled access compound that contains equal or varying sizes of individual compartmentalized, and controlled access stalls or lockers for storage of residential or commercial customer's goods or wares. Such facilities do not include sales, service, or storage of hazardous materials.

**STORAGE AND DISTRIBUTION FACILITIES.** A use where goods are received and/or stored for delivery to the ultimate customer at remote locations.

**STREET, ROAD, HIGHWAY, THOROUGHFARE, OR LANE.** These terms are considered synonymous, and each is defined as a public way located, designed, and dedicated for public use.

**STRUCTURE.** Anything constructed or erected, including any building, the use of which requires a permanent or temporary location on the ground or attached to the ground or to something having a permanent location on the ground, including but not limited to advertising signs, billboards, farm markets or roadside stands, fences, swimming pools, shed, garage, satellite dishes, and similar objects and their components.

**STRUCTURE, ACCESSORY.** - A non-habitable structure detached from and subordinate to the principal use of a lot and located on the same lot, including but not limited to storage sheds, garages, workshops, gazebos, cabanas, greenhouses, carports, and other non-habitable-structures. Fences and swimming pools are also considered accessory structures.

**STRUCTURE, PERMANENT.** A structure which is not readily movable and which is used or intended to be used for a period longer than ninety (90) days.

**STRUCTURE, PRINCIPAL OR MAIN STRUCTURE OR BUILDING.** A structure or building in which is conducted the principal use of the lot on which it is located.

**STRUCTURE, TEMPORARY.** A structure which is readily movable and used or intended to be used for a period not longer than ninety (90) days or other temporary period set forth by this Resolution or in a zoning permit.

**STRUCTURAL CHANGE.** Any change in the supporting members of a structure or building such as bearing walls or partitions, columns, beams, or girders, excepting such structural change as may be required for the safety of the building.

**SUBSTANTIAL DAMAGE.** Damage of any origin sustained by a structure whereby the cost of restoring the structure to its before damaged condition would be equal to, or would exceed, 50% of the market value of the structure before the damage occurred.

**SWIMMING POOL.** shall mean a water pool constructed of steel, masonry, concrete, aluminum, plastic, or any other material and located out of doors, which as a square foot surface of greater than 100 square feet, a depth of more than eighteen (18) inches.

**SWIMMING POOL, PORTABLE.** Pools which are not permanently installed; do not require water filtration, circulation, and purification; do not exceed eighteen (18) inches in depth; do not exceed a water surface area of 100 square feet; and do not require braces or supports.

**TELECOMMUNICATION.** The technology that enables information to be exchanged through the transmission of voice, video, or data signals by means of electrical or electromagnetic systems.

**TELECOMMUNICATION ANTENNA.** The physical device through which electromagnetic, wireless telecommunication signals authorized by the Federal Communications Commission are transmitted or received. Antennas used by amateur radio operators are excluded from this definition.

**TELECOMMUNICATION ATTENDANT FACILITY.** A facility consisting of the equipment and structures involved in receiving telecommunication or radio signals from a mobile radio communication source and transmitting those signals to a central switching computer which connects the mobile unit with the land-based telephone lines.

**TELECOMMUNICATION TOWER.** A structure intended to support equipment used to transmit and/or receive telecommunication signals, including monopole, guyed, and lattice construction steel structures.

**TEMPORARY USE.** A use established for a fixed period of time with the intent to discontinue such use upon the expiration of such time and that does not involve the construction or alteration of any permanent structure.

**TENT.** A temporary structure of canvas or other similar material for adult occupancy and is not intended to include a child's play tent.

**TRAILERS.** Any vehicle without motive power designed or used for carrying property or persons wholly on its own structure and for being drawn by a motor vehicle, and includes any such vehicle when formed by or operated as a combination of a semi-trailer and a vehicle of the dolly type such as that commonly known as a trailer dolly, and a vehicle used to transport agricultural produce or agricultural production materials between a local place of storage or supply and the farm when drawn or towed on a public road or highway at a speed greater than twenty-five (25) miles per hour, except a manufactured home and travel trailer.

**TREE.** A self-supporting, woody, deciduous or evergreen plant, with a well-defined central stem or a species of the plant that normally grows to a height of fifteen (15) feet or more in Trumbull County.

**TREE, CANOPY.** A deciduous tree whose mature height is at least 35 feet and whose branch structure provides foliage primarily on the upper half of the tree. The purpose of a canopy tree is to provide shade to adjacent ground areas.

**TREE, NATIVE.** A tree known to have grown in the northern Ohio area before the arrival of the first Europeans ("pre-settlement").

**TREE, ORNAMENTAL.** A tree that normally grows to a height of not more than twenty (20) feet in Trumbull County and which is planted for aesthetic benefit due to the characteristics of its flowers, berries, foliage or bark.

**TYPE A FAMILY DAY CARE HOME.** Type A family day care home is a permanent residence of the administrator in which child care or publicly funded child care is provided for seven to twelve children at one time or a permanent residence of the administrator in which child day care is provided for four to twelve children at one time if four or more children at one time are under two years of age.

**TYPE B FAMILY DAY CARE HOME.** Type B family day care home is a permanent residence of the provider in which child day care is provided for one to six children at one time and in which no more than three children are under two years of age at one time.

**UNIVERSAL DESIGN.** The design and construction of buildings, dwelling units, and site features that enable safe, convenient, and independent use by persons of all ages and physical abilities, including older adults. Universal Design incorporates features that do not require adaptation or specialized design to accommodate residents with reduced mobility, vision, hearing, or other age-related limitations. Typical elements include, but are not limited to, step-free building entrances; no-step interior floor transitions; wider doorways and halls; accessible bathroom and kitchen layouts; reachable switches and controls; and adequate lighting and wayfinding intended to promote aging-in-place.

**USE.** The purpose for which a building or premises is or may be occupied. In the classification of uses, a "use" may be a use as commonly understood or the name of an occupation, business, activity, or operation carried on, or intended to be carried on, in a building or on premises, or the name of a building, place, or thing which name indicates the use or intended use.

**USE, ACCESSORY.** A use customarily incidental and subordinate to the principal use or building.

**USE, COMMERCIAL.** A use commonly permitted in commercial zoning districts, such as retail sales, restaurants, and services, especially as distinguished from residential dwelling uses.

USE, CONDITIONAL/CONDITIONALLY PERMITTED USE. A use, other than a permitted use, authorized within a district according to a conditional use permit (conditional zoning certificate) approved by the Board of Zoning Appeals.

USE, INDUSTRIAL. A use commonly permitted in industrial or manufacturing zoning districts, such as factories, shipping, and warehousing, especially as distinguished from residential dwelling uses.

USE, PERMITTED. A use permitted in a district “by right”, that is, without special review or approval, provided that the use complies with all applicable provisions and provided that a zoning permit may be required to ensure compliance.

USE, PROHIBITED. A use which is specifically set forth in this Resolution as. (1) prohibited in a specific district; (2) prohibited in all districts; or (3) a use which is not listed as a permitted use or as a conditional use in a specific zoning district.

USE, RESIDENTIAL. A dwelling or a property zoned for dwelling use.

USE, SIMILAR. A use which is not specifically listed in this Resolution which is determined by the Board of Zoning Appeals to be sufficiently similar to listed uses in a district that it should be allowed to be established as provided in this Resolution.

VARIANCE. An area variance or a use variance as provided in this Resolution. Generally, a variance is permission to deviate from the zoning regulations due to special circumstances of a property which circumstances, taken together with the regulations, deprive the property of privileges commonly enjoyed by other properties in the same vicinity. Variances are decided by the Township Board of Zoning Appeals after application, public notice, and other required procedures and according to standards set forth in this Resolution.

VEGETATIVE COVER. Grasses, shrubs, trees, and other vegetation which hold and stabilize soils.

VEHICLE. Anything on wheels or runners, including motorized bicycles.

VEHICLE RECREATIONAL. Any type of vehicle used primarily for travel and recreational pleasure that is self-propelled, mounted on, or pulled by another vehicle including but not limited to travel trailers, motor homes, truck campers, boats, snowmobiles etc.

A vehicle portable structure designed and constructed to be used as a temporary dwelling for travel, recreational, and vacation uses and being classified as follows.

**a)** “Travel Trailer” means a non-self-propelled recreational vehicle not exceeding an overall length of thirty-five (35) feet, exclusive of bumper and tongue or coupling, and includes a tent type fold out camping trailer as defined in division(s) of ORC §4517.01.

**b)** “Motor Home” means a self-propelled recreational vehicle constructed with permanently installed facilities for cold storage, cooking and consuming of food and for sleeping.

**c)** “Truck Camping” means a non-self-propelled recreational vehicle without wheels for road use, designed to be placed on or attached to a motor vehicle. Truck campers do not include truck covers that consist of walls and roof but do not have floors and facilities for use as a dwelling.

VEHICLE WASH. Mechanical facilities for the washing or waxing of private automobiles, light trucks and vans, but not commercial fleets.

VETERINARIAN. A place where animals are given medical or surgical treatment and are cared for during the time of such treatment. An animal hospital, veterinary clinic.

WALL. When freestanding and not a part of a building, a constructed solid vertical barrier such as a solid fence. “Wall” also refers to a vertical exterior surface of a building.

WASTE RECEPTACLE. A place or container located outside of a building in which may be temporarily stored waste materials.

**WATERCOURSE.** Any brook, channel, creek, river, or stream having banks, a defined bed, and a definite direction of flow, either continuously or intermittently flowing.

**WETLAND.** Those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions, including swamps, marshes, bogs, and similar areas. (40 CFR 232, as amended). The Ohio EPA has adopted regulations that categorize wetlands based on their quality and impose differing levels of protection based on the wetland's category as defined in OAC Rules 3745-1-50 through 3745-1-54.

- Ohio EPA Category 3 Wetlands. Those wetlands classified as Category 3 wetlands under OAC 3745-1-54, in accordance with generally accepted wetland assessment methods acceptable to the U.S. Army Corps of Engineers and the Ohio EPA at the time of application of this regulation.
- Ohio EPA Category 2 Wetlands. Those wetlands classified as Category 2 wetlands under OAC 3745-1-54, in accordance with generally accepted wetland assessment methods acceptable to the U.S. Army Corps of Engineers and the Ohio EPA at the time of application of this regulation.
- Ohio EPA Category 1 Wetlands. Those wetlands classified as Category 1 wetlands under OAC 3745-1-54, in accordance with generally accepted wetland assessment methods acceptable to the U.S. Army Corps of Engineers and the Ohio EPA at the time of application of this regulation.

**WING WALL.** An architectural feature that is a continuation of a building wall projecting beyond the exterior walls of a building that is secondary in scale and not having a roof.

**WHOLESALE COMMERCIAL.** The sale of merchandise to retail and service commercial uses, office uses, or institutional uses, or to other wholesalers. Wholesale commercial uses may also mean acting as an agent or broker in the buying or selling of merchandise; but not selling to the general public.

**WORKFORCE HOUSING UNIT** means a dwelling unit reserved for occupancy by, and affordable to, households earning between eighty percent (80%) and one hundred and twenty percent (120%) of the Median Household Income (MHI) for Trumbull County for the most recent year available through the US Census.

**YARD.** An area of land located between a lot line and the building line and which is unoccupied and unobstructed from the ground upward except as specifically provided in this Resolution.

**YARD DEPTH.** The shortest distance between a lot line and a building line.

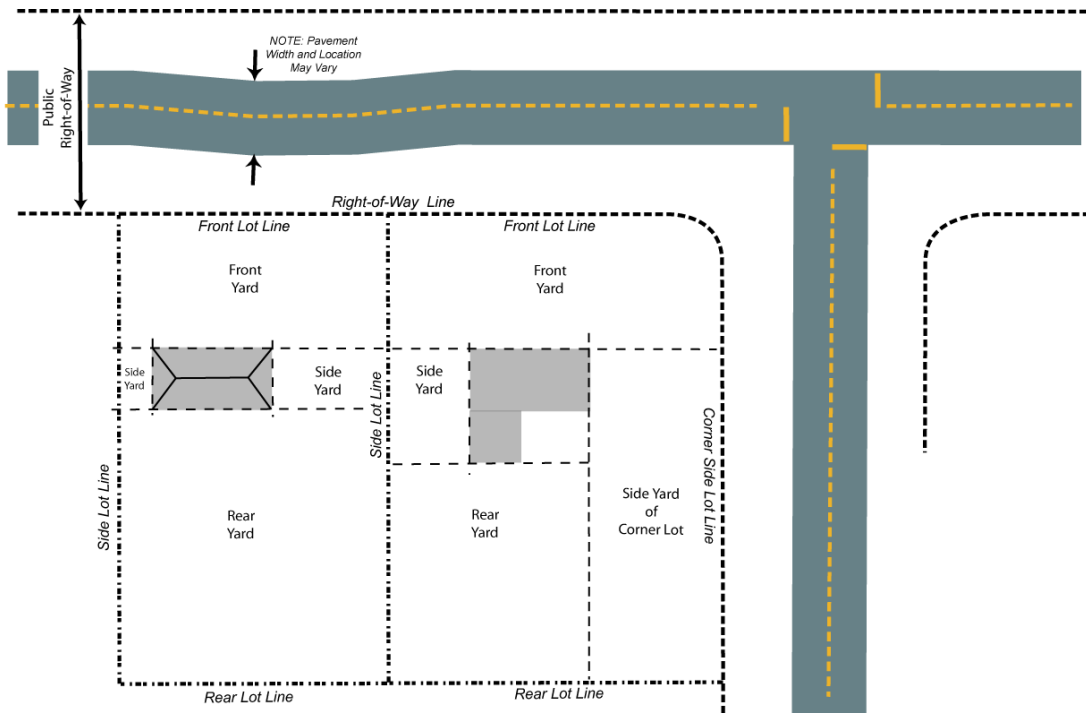
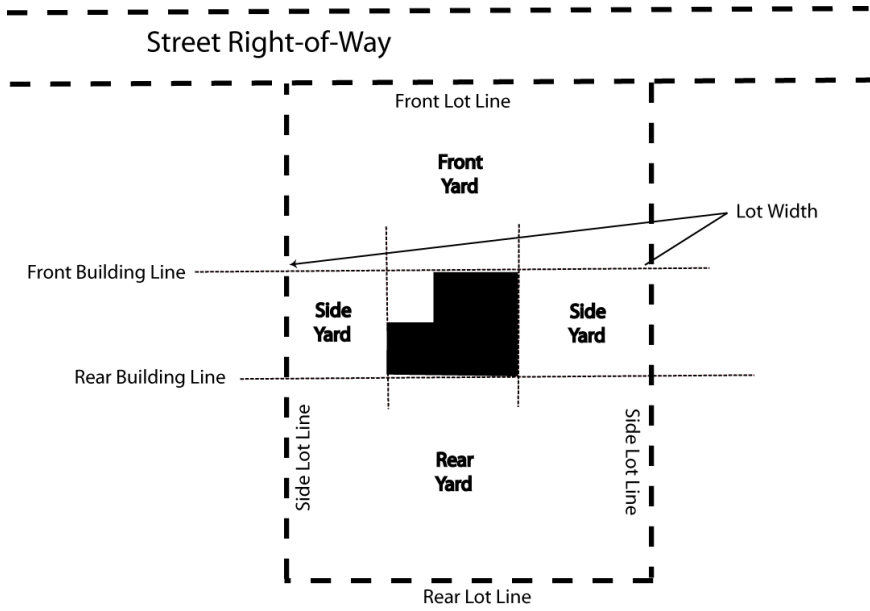
**YARD, FRONT.** The yard extending across the full width of the lot and bound by the front yard line, the side lot lines, and the front building line of the principal building.

**YARD, PERIMETER.** An area of land representing the outermost project boundaries and containing any required perimeter buffer.

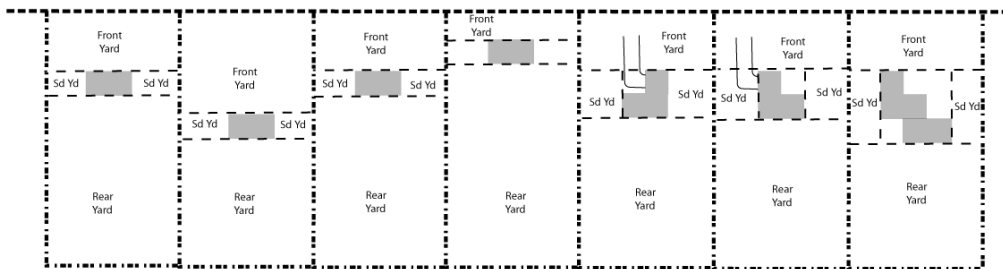
**YARD, REAR.** The yard extending across the full width of the lot and bound by the rear lot line, the side lot lines, and the rear building line of the principal building.

**YARD REQUIRED.** A yard having the minimum dimensions (such as width, depth, area) required for a front, rear, or side yard by this Resolution.

**YARD, SIDE.** The yard bound by the side lot line, the front setback line, the rear setback line, and the side of the principal building.



Yards in irregular configurations:



**ZONING AMENDMENT, REZONING.** An amendment of this Resolution approved by the Board of Township trustees as provided by the Ohio Revised Code. A zoning amendment may be a change of the text of this Resolution or a change of the Official Zoning Map, also known as a rezoning or map amendment.

**ZONING ADMINISTRATOR.** An employee or contractor of Howland Township who is appointed by the Township Trustees to serve as a Zoning Administrator as authorized by the Ohio Revised Code. The responsibilities and authorities of the Zoning Administrator include but are not limited to issuing zoning permits and other activities necessary to administer and enforce the provisions of the Zoning Resolution.

**ZONING CERTIFICATE.** A document issued by the Zoning Administrator authorizing the use of lots or structures in accordance with the Howland Township Zoning Resolution.

**ZONING COMMISSION.** The commission, comprised of Township residents appointed by the Township Trustees, established to serve the zoning functions authorized by the Ohio Revised Code and this Resolution, including but not limited to reviewing and recommending amendments to the Zoning Resolution and to the Zoning Map.

**ZONING DISTRICT, DISTRICT, ZONE DISTRICT CLASSIFICATION.** An area of the Township presently or hereinafter delineated on the Official Zoning Map under the terms of this Resolution for which regulations governing the height, area, uses and other regulations relating to development or use are uniform.

**ZONING MAP, OFFICIAL ZONING MAP.** The officially adopted and amended map which illustrates the locations of zoning districts throughout the unincorporated areas of Howland Township as authorized by resolutions of the Township Trustees.

**ZONING RESOLUTION.** The document or documents, adopted by resolution of the Township Trustees, establishing the zoning regulations applicable to all land within the unincorporated areas of Howland Township.

**Resolution 2026-075 Zoning Commission Case #2026-C-02**

The Board of Trustees of Howland Township, Trumbull County, Ohio, met in regular Session on May 13, 2026, with the following members present:

Frank Dillon, Matthew Vansuch, Dr. James LaPolla

Dr. James LaPolla moved for adoption of the following Resolution by the Howland Township Trustees

WHEREAS, the Howland Township Zoning Commission has recommended to the Board of Trustees a zoning text amendment that includes acceptable uses and development standards of the new Mixed-Use District (MXD), roadway standards applicable across the township, new standards for evaluating future rezonings, and updated definitions as shown in Exhibit C - Summary and Text Amendment, and;

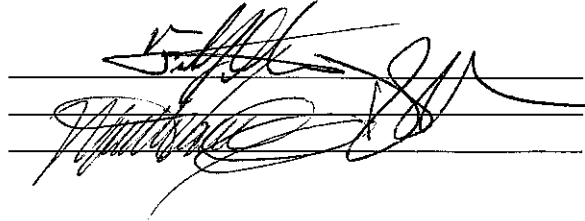
WHEREAS, the Howland Township Zoning Commission held a public hearing on February 18, 2026, and continued on March 18, 2026, and where, after public testimony, the Commission unanimously recommended to the Howland Township Board of Trustees to approve the text amendment as modified; and,

WHEREAS, the proposed text amendment is consistent with the 2023 Howland Township Comprehensive Community Plan, and,

WHEREAS, the Howland Township Board of Trustees, pursuant to law, held a public hearing on April 29, at 5:00 pm and reviewed the recommendation of the Howland Township Zoning Commission, public testimony, and all other documents presented to the Board of Trustees, and;

NOW THEREFORE, BE IT RESOLVED that the Howland Township Board of Trustees accept the recommendation made by the Zoning Commission to approve the text amendment, and as shown in Exhibit C- Summary and Text Amendment of this resolution.

Matthew Vansuch seconded the motion to pass the Resolution, and upon roll call, the vote resulted as follows:

  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Yea  
Yea  
Yea

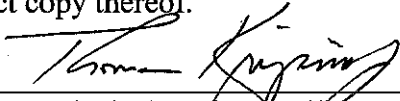
**Resolution 2026-075 Zoning Commission Case #2026-C-02 (cont)**

Adopted: May 13, 2026

State of Ohio )  
 ) ss:  
County of Trumbull )

**CERTIFICATE OF THE FISCAL OFFICER**

I, Thomas Krispinsky, Fiscal Officer of the Board of Trustees of Howland Township, Trumbull County, Ohio, in whose custody and control the files and records of such Board are required by the Laws of the State of Ohio to be kept, do hereby certify that the foregoing Resolution is taken and copied from the original Resolution and that the same is a true and correct copy thereof.



\_\_\_\_\_  
Thomas Krispinsky, Fiscal Officer

Date: 5/13/26

**Resolution 2026-074 Zoning Commission Case #2026-C-01**

The Board of Trustees of Howland Township, Trumbull County, Ohio, met in regular Session on May 13, 2026, with the following members present:

Frank Dillon, Matthew Vansuch, Dr. James LaPolla

Matthew Vansuch moved for adoption of the following Resolution by the Howland Township Trustees

WHEREAS, the Howland Township Zoning Commission has recommended to the Board of Trustees that an area located west of Niles-Cortland Road SE and south of State Route 82, including properties accessed from Dawson Drive, Kenyon Drive, and Hiram Place, from Corridor Review District–Two (CRD-2) and Commercial (C) to Mixed-Use District (MXD) as shown in Exhibit A; and,

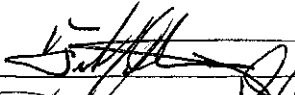
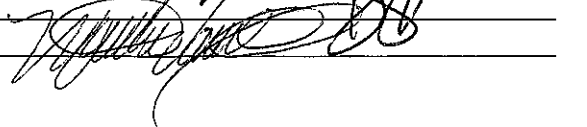
WHEREAS, the Howland Township Zoning Commission held a public hearing on February 18, 2026 and continued on March 18, 2026, and where, after public testimony, the Commission unanimously recommended to the Howland Township Board of Trustees to approve the rezoning; and,

WHEREAS, the proposed Mixed-Use Zoning District was a recommendation of the 2023 Howland Township Comprehensive Community Plan, and therefore the rezoning from its current zoning classification of Corridor Review District – Two (CRD-2) and Commercial (C) is in conformance with the Plan; and,

WHEREAS, the Howland Township Board of Trustees, pursuant to law, held a public hearing on April 29, at 5:00 pm and reviewed the recommendation of the Howland Township Zoning Commission, public testimony, and all other documents presented to the Board of Trustees, and;

NOW THEREFORE, BE IT RESOLVED that the Howland Township Board of Trustees accept the recommendation made by the Zoning Commission to approve the rezoning of lands along Kenyon, Dawson, and Hiram, and as shown in Exhibit A - Zoning Map of this resolution.

Dr. James LaPolla seconded the motion to pass the Resolution, and upon roll call, the vote resulted as follows:

	Yea
	Yea
	Yea

**Resolution 2026-074 Zoning Commission Case #2026-C-01 (cont)**

Adopted: May 13, 2026

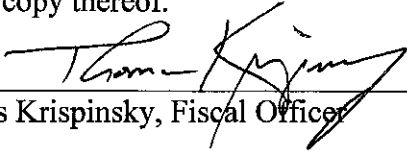
State of Ohio )

) ss:

CERTIFICATE OF THE FISCAL OFFICER

County of Trumbull )

I, Thomas Krispinsky, Fiscal Officer of the Board of Trustees of Howland Township, Trumbull County, Ohio, in whose custody and control the files and records of such Board are required by the Laws of the State of Ohio to be kept, do hereby certify that the foregoing Resolution is taken and copied from the original Resolution and that the same is a true and correct copy thereof.



Thomas Krispinsky, Fiscal Officer

Date: 5/13/26